



Saltash Town Council

Konsel An Dre Essa



The Guildhall
12 Lower Fore Street
Saltash
PL12 6JX
Telephone: 01752 844846
www.saltash.gov.uk

17 October 2025

Dear Councillor

I write to summon you to an **Extraordinary Services Committee meeting** to be held at the Guildhall on **Thursday 23rd October 2025 at 6.30 pm.**

The meeting is open to members of the public and press. Any member of the public requiring to put a question to the Town Council must do so by **12 noon the day before the meeting** either by email to enquiries@saltash.gov.uk or sent to The Guildhall, 12 Lower Fore Street, Saltash PL12 6JX. Please provide your full name and indicate if you will be present at the meeting.

Yours sincerely,

Councillor R Bickford
Chairman of Services

To:

Essa	Tamar	Trematon
A Ashburn R Bickford (Chairman) J Brady R Bullock L Mortimore P Samuels	S Gillies (Vice-Chairman) M Johns S Martin P Nowlan J Peggs J Suter	G McCaw S Miller B Samuels B Stoyel

Agenda

1. Health and Safety Announcements.
2. Apologies.
3. Declarations of Interest:
 - a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.
 - b. The Town Clerk to receive written requests for dispensations prior to the start of the meeting for consideration.
4. Public Questions - A 15-minute period when members of the public may ask questions of the Town Council.
Please note: Any member of the public requiring to put a question to the Town Council must do so by email or via The Guildhall **no later than 12 noon the day before the meeting.**

Members of the public are advised to review the Receiving Public Questions, Representations and Evidence at Meetings document prior to attending the meeting.
5. To receive and approve the minutes of the Services Committee held on 9 October 2025 as a true and correct record. (Pages 4 - 10)
6. To receive the Services Committee budget statement and consider any actions and associated expenditure. (Pages 11 - 17)
7. To consider Risk Management reports as may be received.
8. To receive a report on the purchase of land at Pillmere and consider any actions and associated expenditure. (Pages 18 - 294)
(Pursuant to Services held on 9.10.25 minute nr. 57/25/26)
9. To receive the following Committee Precept recommendations and consider any actions:
 - a. Library held on 2 September 2025; (Pages 295 - 302)
 - b. Property Maintenance held on 25 September 2025; (Pages 303 - 312)
 - c. Station Property held on 29 September 2025; (Pages 313 - 322)
10. To set the Services Committee Fees and Charges for the year 2026/27 recommending to the Policy and Finance Committee. (Pages 323 - 331)

11. To set the Services Committee budgets for the year 2026/27 recommending to the Policy and Finance Committee. (Pages 332 - 336)
12. Public Bodies (Admission to Meetings) Act 1960:
To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.
13. To consider any items referred from the main part of the agenda.
14. Public Bodies (Admission to Meetings) Act 1960:
To resolve that the public and press be re-admitted to the meeting.
15. To confirm any press and social media releases associated with any agreed actions and expenditure of the meeting.

Date of Next Meeting: Thursday 11 December 2025 at 6.30 pm

SALTASH TOWN COUNCIL

Minutes of the Meeting of the Services Committee held at the Guildhall on Thursday 9th October 2025 at 6.30 pm

PRESENT: Councillors: R Bickford (Chairman), R Bullock, S Gillies (Vice-Chairman), M Johns, S Martin, G McCaw, P Nowlan, J Peggs, B Samuels and B Stoyel.

ALSO PRESENT: S Burrows (Town Clerk), M Cotton (Assistant Service Delivery Manager)

APOLOGIES: A Ashburn, J Brady, S Miller, L Mortimore, P Samuels and J Suter

49/25/26 HEALTH AND SAFETY ANNOUNCEMENTS.

The Chairman informed those present of the actions required in the event of a fire or emergency.

50/25/26 DECLARATIONS OF INTEREST:

a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

None.

b. The Town Clerk to receive written requests for dispensations prior to the start of the meeting for consideration.

None.

51/25/26 PUBLIC QUESTIONS - A 15-MINUTE PERIOD WHEN MEMBERS OF THE PUBLIC MAY ASK QUESTIONS OF THE TOWN COUNCIL.

None received.

52/25/26 TO RECEIVE AND APPROVE THE MINUTES OF THE SERVICES COMMITTEE HELD ON 17 JULY 2025 AS A TRUE AND CORRECT RECORD.

Please see a copy of the minutes on the STC website or request to see a copy at the Guildhall.

It was proposed by Councillor Bickford, seconded by Councillor Stoyel and **RESOLVED** that the minutes of the Services Committee held on 17 July 2025 were confirmed as a true and correct record.

53/25/26 TO RECEIVE THE SERVICES COMMITTEE BUDGET STATEMENT AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was proposed by Councillor Bickford, seconded by Councillor Gillies and **RESOLVED** to note the budget statements and approve a virement of £50.00 from budget code 7121 LO IT & Office Costs Longstone to budget code 6534 SE Pontoon Broadband.

54/25/26 TO CONSIDER RISK MANAGEMENT REPORTS AS MAY BE RECEIVED.

Nothing to report.

55/25/26 TO REVIEW THE SERVICES COMMITTEE BUSINESS PLAN DELIVERABLES FOR QUARTER TWO FOR THE YEAR 2025/26 AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was proposed by Councillor Bickford, seconded by Councillor Gillies and **RESOLVED** to:

1. Note there are no specific 'actions' Members wished for the Town Clerk to take into consideration when reviewing the deliverables;
2. defer to a future Services Committee Meeting for further consideration.

TO RECEIVE REPORTS FROM THE SERVICE DELIVERY DEPARTMENT AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

a. Departmental Report;

The Acting Service Delivery Manager gave a verbal update on the report contained and circulated in the reports pack.

Point 7 of the report – Kubota RTV:

It was proposed by Councillor Bickford, seconded by Councillor Stoyel, and **RESOLVED:**

1. To delegate authority to the Acting Service Delivery Manager to part-exchange the existing RTV for £3,000 towards the purchase of a used Kubota RTV X1110 Cab at a total cost of £17,215 + VAT. After the part-exchange, the remaining balance of £14,215 + VAT will be payable, as detailed in Appendix G.
2. That the expenditure be allocated to budget code 6578 EMF Vehicles and Equipment.
3. To accept the Town Clerk's advice that, due to the nature of the procurement via a website, a single quotation was deemed acceptable in this instance.
4. To note that the company recommended by the Acting Service Delivery Manager is known to Saltash Town Council and is considered reputable.

Point 6 of the report – Jubilee Pontoon:

It was proposed by Councillor Bickford, seconded by Councillor Nowlan, and **RESOLVED:**

1. To delegate authority to the Acting Service Delivery Manager to replace the failed navigation unit located on the northern end of the Jubilee Pontoon, in accordance with the Tenancy at Will, subject to the Town Clerk confirming with Trinity House the required number of navigation lights for the pontoon.
2. To delegate authority to the Acting Service Delivery Manager to purchase one solar-powered navigation light and three solar battery replacement kits at a total cost of £1,092, to be allocated to budget code 6584 EMF Pontoon Maintenance Costs. This is subject to confirmation from the Town Clerk that the faulty light requires replacement in accordance with Trinity House's recommendations.

3. To request that the Acting Service Delivery Manager reports the outcome of the above actions at the next scheduled meeting of the Services Committee.

It was **RESOLVED** to note the contents of the remainder of the report.

- b. Grounds Maintenance Works;

It was **RESOLVED** to note.

- c. Work Request Log;

No report.

- d. Vandalism and Anti-Social Behaviour Report;

No report.

- e. Statutory and Mandatory Building Asset Checks.

No report.

57/25/26 TO RECEIVE AN UPDATED REPORT ON THE PURCHASE OF LAND AT PILLMERE AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

The Town Clerk provided a verbal update regarding the transfer of two parcels of land at Pillmere—Harebell Close and Campion Close.

Members acknowledged the significant volume of work involved, noting that the Town Clerk had received seventeen documents requiring thorough review and analysis in order to prepare a comprehensive report for Members' consideration.

Members also expressed concern about the general public's limited understanding of the complexities involved in legal matters of this nature. They emphasised the importance of allowing sufficient time for due diligence to avoid potential issues arising in the future.

The Town Clerk confirmed that she had contacted Taylor Wimpey regarding the clearance of both sites and is currently awaiting a response.

It was proposed by Councillor Stoyel, seconded by Councillor Gillies, and **RESOLVED** that the item be deferred to the Extraordinary Services Committee meeting scheduled for 23 October.

58/25/26 TO RECEIVE AN UPDATED REPORT ON PONTOON MAINTENANCE AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was proposed by Councillor Bickford, seconded by Councillor Stoyel and **RESOLVED:**

1. To appoint Company C to carry out remedial works to the Jubilee Pontoon during December, when usage of the pontoon is typically lower, in order to minimise disruption.
2. That the scope of the remedial works shall be in accordance with the recommendations outlined in Primrose Marine's inspection report dated 5 July 2025, and shall include the reinstatement of all deck boards to their original condition upon completion of the works.
3. That the total cost of £4,980 be allocated to budget code 6584 EMF Pontoon Maintenance.

To delegate authority to the Town Clerk, in consultation with the Chair and Vice Chair of the Committee, to obtain quotations from independent marine surveyors to assess and verify the quality and completion of the works undertaken by Company C working within budget 6584 EMF Pontoon Maintenance reporting back at a future Services Committee meeting.

59/25/26 TO RECEIVE AN UPDATE ON THE TOWN'S FESTIVE LIGHTING PROVISION AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was proposed by Councillor Gillies, seconded by Councillor B Samuels, and **RESOLVED** to note the update and to ratify the additional expenditure of £880 required to complete the works as requested by the Services Committee, with the cost to be allocated to budget code 6515 – Festive Lights Maintenance and Electricity.

60/25/26 TO RECEIVE A REPORT FROM THE CHRISTMAS LIGHTS WORKING GROUP AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was **RESOLVED** to note.

61/25/26 TO RECEIVE A REPORT FROM SALTASH ENVIRONMENTAL ACTION AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

The Chair updated Members on the conversation had with Adrian of SEA regarding the need to use chemicals and herbicides to treat growth of the heliotrope located in Elwell Woods in accordance with specialist advice they had received.

Members again raised their concern of the growth and spread of the heliotrope and need to act now.

It was proposed by Councillor Bickford, seconded by Councillor Gillies and **RESOLVED:**

1. To refer SEA to Services Committee Minute 116/24/25, dated 13 February 2025, in which Members requested that SEA reconsider the use of chemical treatment to manage the heliotrope growth in Elwell Woods.
2. To proceed with sending small samples of root material to the Royal Horticultural Society (RHS) for analysis, to determine whether disease is present in the orchard. It was further agreed that, in future, SEA does not require prior Committee approval to undertake similar investigative or minor works.
3. That Members will contact SEA directly to suggest any suitable areas of land within their wards for potential tree planting initiatives.
4. To approve a total expenditure of £735.13, allocated to budget code 6589 EMF Community Tree Planting Initiatives, for SEA to replace the birch trees previously planted adjacent to the Cornish Cross.
5. To note that all purchases on behalf of SEA are to be made through the Service Delivery Department, in accordance with the Town Council's procurement procedures.

62/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

63/25/26 **TO CONSIDER ANY ITEMS REFERRED FROM THE MAIN PART OF THE AGENDA.**

None.

64/25/26 **PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:**

To resolve that the public and press be re-admitted to the meeting.

65/25/26 **TO CONFIRM ANY PRESS AND SOCIAL MEDIA RELEASES ASSOCIATED WITH ANY AGREED ACTIONS AND EXPENDITURE OF THE MEETING.**

None.

DATE OF NEXT MEETING

Thursday 23 October 2025 at 6.30 pm

Rising at: 7.36 pm

Signed: _____
Chairman

Dated: _____

Services Committee - Guildhall Budget 2025-26

Saltash Town Council

For the 6 months to 30 September 25

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Guildhall Operating Income				
4200 GH Income - Guildhall Bookings	1,916	2,000	1,622	378
4201 GH Income - Guildhall Refreshments	228	242	169	73
4206 GH Income - Guildhall Photocopying Income	59	69	68	1
Total Guildhall Operating Income	2,204	2,311	1,860	451
Guildhall Operating Expenditure				
6400 GH Rates - Guildhall	10,729	11,051	10,729	323
6401 GH Water Rates - Guildhall	765	827	404	423
6402 GH Gas - Guildhall	3,502	5,718	110	5,608
6403 GH Electricity - Guildhall	5,041	9,728	894	8,834
6404 GH Fire, Security Alarm & CCTV - Guildhall	1,229	1,012	903	109
6408 GH Cleaning Materials & Equipment - Guildhall	1,176	1,385	847	538
6409 GH Boiler Service & Maintenance	677	1,255	0	1,255
6410 GH General Repairs & Maintenance	3,003	3,203	781	2,422
6412 GH Lift Service & Maintenance	2,852	3,741	1,237	2,504
6413 GH Refreshment Costs - Guildhall	428	245	39	206
6414 GH Equipment - Guildhall	658	4,725	1,056	3,669
Total Operating Expenditure	30,059	42,890	16,998	25,892
Total Guildhall Operating Surplus/ Deficit	(27,855)	(40,579)	(15,138)	(25,441)
Guildhall EMF Expenditure				
6418 GH EMF Legal & Professional Fees	9,603	418	0	418
6470 GH EMF Guildhall Maintenance	77,531	27,422	6,927	20,495
Total Guildhall EMF Expenditure	87,135	27,840	6,927	20,913
Total Guildhall Expenditure (Operational & EMF)	117,193	70,730	23,925	46,805
Total Guildhall Budget Surplus/ (Deficit)	(114,990)	(68,419)	(22,066)	(46,353)

To/From Reserves & Budget Virements

1. 6410 GH General Maintenance & Repairs includes income received for resale of shelving £65

Key

Spending is on target as predicted at this point in the financial year
 Spending is higher than anticipated and needs to be monitored closely
 Budget is overspent - requires investigation and recommend virement

Services Committee - Library Budget 2025-26
Saltash Town Council
For the 6 Months ended 30 September 2025

Account	Prior YTD 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Library Operating Income				
4517 LI Library - Replacement Membership Cards	13	50	16	34
4518 LI Library - Photocopying Fees	941	600	450	150
4524 LI Library Book Sales	131	300	91	209
4526 LI Library Activity Income	0	180	0	180
Total Library Operating Income	1,085	1,130	557	573
Library Operating Expenditure				
6900 LI Rates - Library	13,099	13,492	13,099	393
6901 LI Water Rates - Library	327	403	159	244
6902 LI Gas - Library	3,196	6,216	106	6,110
6903 LI Electricity - Library	3,414	4,946	1,227	3,719
6904 LI Fire, Security Alarm & CCTV - Library	788	1,143	1,243	(100)
6908 LI Cleaning Materials & Equipment - Library	739	983	486	497
6909 LI Boiler Service & Maintenance - Library	292	905	288	618
6910 LI General Repairs & Maintenance - Library	2,326	2,510	1,606	904
6911 LI TV License & PRS - Library	291	474	42	432
6913 LI Refreshment Costs - Library	49	315	46	269
6914 LI Equipment - Library	734	830	176	654
6921 LI IT & Office Costs - Library	1,558	1,827	680	1,147
6922 LI Library Activities	2,465	3,000	2,264	736
6975 LI Home Library Service	20	550	0	550
6923 LI PWLB Loan Repayment & Interest	23,993	23,509	11,815	11,694
6680 ST LI Staff Clothing (Library)	0	250	0	250
6681 ST LI Staff Travelling Expenses (Library)	53	250	14	236
Total Operating Expenditure	53,343	61,603	33,253	28,350
Total Library Operating Surplus/ Deficit	(52,258)	(60,473)	(32,696)	(27,777)
Library EMF Expenditure				
6918 LI EMF Legal & Professional Fees (Private Contractors)	600	13,105	0	13,105
6971 LI EMF Saltash Library Property Refurbishment	64,455	155,909	16,226	139,683
6972 LI EMF Library Equipment & Furniture	3,050	5,575	0	5,575
6974 LI EMF Library Funding	0	1,430	0	1,430
6976 LI EMF Library General Maintenance	0	5,100	300	4,800
Total Library EMF Expenditure	68,104	181,119	16,526	164,593
Total Library Expenditure (Operational & EMF)	121,447	242,722	49,779	192,943
Total Library Budget Surplus/ (Deficit)	(120,362)	(241,592)	(49,222)	(192,370)

To/From Reserves & Budget Virements

1. New code created to separate Internal Refurbishment costs (6971 LI EMF Saltash Library Property Refurbishment) from Property & Maintenance General Maintenance costs (6976 LI EMF Library General Maintenance).
2. 6974 LI EMF Library Funding includes Income Received from Seed Bed Funding - £500
3. 6904 LI Fire, Security Alarm & CCTV - Library overspent by £100 due to including annual costs of £275 relating to 2026/27. These costs will be adjusted at Year End

Key

Spending is on target as predicted at this point in the financial year

Spending is higher than anticipated and needs to be monitored closely

Budget is overspent, requires investigation and recommend virement

Services Committee - Maurice Huggins Budget 2025-26
 Saltash Town Council
 For the 6 months to 30 September 2026

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Maurice Huggins Operating Income				
4207 MA Maurice Huggins Room Income	1,230	1,400	690	710
4208 MA Maurice Huggins Room Refreshments	0	200	0	200
Total Maurice Huggins Operating Income	1,230	1,600	690	910
Maurice Huggins Operating Expenditure				
7000 MA Rates	429	443	429	14
7001 MA Water Rates	339	437	156	281
7003 MA Electricity	963	2,251	148	2,103
7004 MA Fire & Security Alarm	235	243	219	24
7008 MA Cleaning Materials & Equipment	310	366	277	89
7010 MA General Repairs & Maintenance	156	1,656	143	1,513
7019 MA Refreshment Costs - Maurice Huggins	0	150	0	150
Total Maurice Huggins Operating Expenditure	2,433	5,546	1,372	4,174
Total Maurice Huggins Operating Surplus/ (Deficit)	(1,203)	(3,946)	(682)	(3,264)
Maurice Huggins EMF Expenditure				
6472 MA EMF Maurice Huggins Room	0	4,823	0	4,823
7071 MA EMF Maurice Huggins (Furniture & Sundry Items)	0	606	0	606
Total Maurice Huggins EMF Expenditure	0	5,429	0	5,429
Total Maurice Huggins Expenditure (Operational & EMF)	2,433	10,975	1,372	9,603
Total Maurice Huggins Budget Surplus/ (Deficit)	(1,203)	(9,375)	(682)	(8,693)

Key
Spending is on target as predicted at this point in the financial year
Spending is higher than anticipated and needs to be monitored closely
Budget is overspent - requires investigation and recommend virement

Services Committee - Service Delivery Budget 2025-26
 Saltash Town Council
 For the 6 months to 30 September 2025

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Service Delivery Operating Income				
Grounds & Premises Income				
4500 SE Allotment Rents	5,359	5,000	6,729	(1,729)
4510 SE Public Footpath Grant	806	1,226	1,226	(0)
4512 SE National Grid Wayleave Income	15	0	1	(1)
4513 SE Water Rates Income	755	1,113	185	928
Total Grounds & Premises Income	6,935	7,339	8,141	(802)
Town & Waterfront Income				
4520 SE Waterfront Income - Trusted Boat Scheme	2,037	2,000	1,250	750
4521 SE Waterfront Income - Annual Mooring Fees	8,614	13,364	11,605	1,759
4522 SE Waterfront Income - Daily Mooring Fees	7,200	750	775	(25)
Total Town & Waterfront Income	17,851	16,114	13,630	2,484
Total Service Delivery Operating Income	24,787	23,453	21,771	1,682
Service Delivery Operating Expenditure				
Grounds & Premises Expenditure				
6209 SE Oyster Beds	0	1	3	(2)
6500 SE Tree Survey and Tree Maintenance	8,262	20,000	1,850	18,150
6503 SE Allotments - Churchtown	1,324	1,000	0	1,000
6532 SE Allotments - Grenfell	0	3,500	120	3,380
6533 SE Allotments - Fairmead	0	2,000	120	1,880
6506 SE Grounds Maintenance & Watering	10,721	20,450	12,490	7,960
6508 SE Public Toilets (Operational Costs)	6,533	7,051	3,841	3,210
6517 SE Cornish Cross (Maintenance)	328	400	53	347
6525 SE Public Toilets (Repairs & Maintenance Costs)	1,441	3,043	632	2,411
6526 SE Tools, Equipment & Materials (Store & All Areas)	4,747	5,318	3,538	1,780
6529 SE Refuse Disposal	6,181	6,694	3,350	3,344
6530 SE Allotment Software Subscription	669	462	420	42
6531 SE Public Toilet Commercial Cleaning	34,370	38,469	19,068	19,401
Total Grounds & Premises Expenditure	74,575	108,388	45,485	62,903
Longstone Expenditure				
7101 LO Water Rates - Longstone	2,345	2,782	1,929	853
7103 LO Electricity - Longstone	1,580	1,629	413	1,216
7104 LO Fire & Security Alarm & CCTV - Longstone	89	1,117	954	163
7107 LO Rent - Longstone	4,680	5,084	2,340	2,744
7108 LO Cleaning Materials & Equipment - Longstone	650	363	178	185
7110 LO General Repairs & Maintenance - Longstone	1,194	2,500	120	2,380
7114 LO Equipment - Longstone	0	1,700	996	704
7121 LO IT & Office Costs - Longstone	616	1,723	813	910
6673 ST SE Services Delivery - Clothing	1,374	2,504	836	1,668
6674 ST SE Services Delivery - Mobiles	904	2,060	1,164	896
6675 ST SE Services Delivery Staff Travelling Expenses	1,874	1,721	735	986
Total Longstone Expenditure	9,169	23,183	10,477	12,706

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Town & Waterfront Expenditure				
6504 SE Street Furniture (Maintenance)	1,394	2,575	218	2,357
6505 SE Street Lighting	501	773	93	680
6511 SE Tourism & Signage	60	15,000	0	15,000
6512 SE Bus Shelters (Maintenance)	0	582	0	582
6515 SE Festive Lights Maintenance & Electricity	3,751	6,869	4,797	2,072
6519 SE Flags & Bunting	2,378	3,043	629	2,414
6522 SE Pontoon (Maintenance Costs)	2,250	3,090	1,808	1,282
6524 SE Vehicle Maintenance and Repair Costs	9,332	10,815	4,275	6,540
6527 SE Salt Bins Refill	0	554	0	554
6528 SE Pontoon Accommodation	5,496	6,656	3,328	3,328
6534 SE Pontoon Broadband	0	322	164	158
Total Town & Waterfront Expenditure	25,162	50,279	15,311	34,968
Total Service Delivery Operating Expenditure	108,905	181,850	71,273	110,577
Total Service Delivery Operating Surplus/ (Deficit)	(84,118)	(158,397)	(49,501)	(108,896)
Service Delivery EMF Expenditure				
Grounds & Premises EMF Expenditure				
6471 SE EMF Heritage Centre	250	35,966	0	35,966
6571 SE EMF Saltash Recreation Areas	2,014	52,791	0	52,791
6580 SE EMF Public Toilets (Capital Works)	1,686	26,398	0	26,398
6588 SE EMF Victoria Gardens	519	14,481	0	14,481
6589 SE EMF Community Tree Planting Initiatives	0	3,145	39	3,106
6591 SE EMF Open Spaces & Trees	0	16,212	0	16,212
6592 SE EMF Pilmere Play Parks	94,955	0	0	0
6593 SE EMF Cornish Cross (Maintenance)	0	5,217	0	5,217
6595 SE EMF Legal & Professional Fees (Grounds & Premises)	0	6,800	1,307	5,493
Total Grounds & Premises EMF Expenditure	99,424	161,010	1,346	159,664
Longstone EMF Expenditure				
7170 LO EMF Longstone Depot Capital Works	1,212	17,038	0	17,038
Total Longstone EMF Expenditure	1,212	17,038	0	17,038
Town & Waterside EMF Expenditure				
6570 SE EMF Notice Boards (Repair & Replace)	550	956	(47)	1,003
6572 SE EMF Festive Lights	12,421	50,568	3,025	47,543
6573 SE EMF Public Art & Maintenance	0	1,443	0	1,443
6574 SE EMF Salt Bins	96	2,272	0	2,272
6575 SE EMF Street Furniture (New & Replace)	133	1,367	0	1,367
6578 SE EMF Equipment and Vehicles (Capital Works)	34,286	68,500	0	68,500
6582 SE EMF Town War Memorial	14,540	1,978	0	1,978
6584 SE EMF Pontoon Maintenance Costs	29,035	118,902	109,850	9,052
6590 SE EMF Utilities & Rates	0	2,157	0	2,157
6598 SE EMF Crime Reduction (CCTV)	0	65,739	45,065	20,674
Total Town & Waterside EMF Expenditure	91,061	313,882	157,893	155,989
Total Service Delivery EMF Expenditure	191,697	491,930	159,239	332,691
Total Service Delivery Expenditure (Operational & EMF)	300,602	673,780	230,512	443,268
Total Service Delivery Budget Surplus/ (Deficit)	(275,815)	(650,327)	(208,741)	(441,586)

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
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To/From Reserves & Budget Virements

- 1. Virement from General Reserves to 6471 SE EMF Heritage Centre - FTC 113/25/26 - £20,000
- 2. Virement from General Reserves to 6595 SE EMF Legal and Professional Fees (Grounds & Premises) - £5,000 - FTC 113/25/26
- 3. Virement from General Reserves to 6506 SE Grounds Maintenance & Watering for Albert Road yellow lines - £5,000 - FTC 337/22/23
- 4. Virement from 6506 SE Grounds Maintenance & Watering to 6515 SE Festive Lights Maintenance & Electricity - £3,000 - SE 40/25/26
- 5. Virement from 7121 LO IT Office Costs Longstone to 6534 SE Pontoon Broadband - £50 - SE 53/25/26

1. 6209 SE Oyster Beds

This code is overbudget by £2 due to Actual 2025/26 including £1 for 2023/24 and £1 for 2024/25. These invoices were received late

2. 4500 SE Allotment Rents

This code includes income of £1,632 received for compensation during recent filming and will be used to partially credit allotment holders for invoicing for 2026/27

Services Committee - Isambard House (Station Building) Budget 2025-26
 Saltash Town Council
 For the 6 Months ended 30th September 2025

Account	Prior Year 2024/25	Budget Including Virements 2025/26	Actual YTD 2025/26	Budget Available 2025/26
Isambard House Operating Income				
4301 SA Isambard House - Bookings	8,043	6,500	2,861	3,639
4302 SA Isambard House - Refreshment Income	130	120	312	(192)
Total Isambard House Operating Income	8,173	6,620	3,173	3,447

Isambard House Operating Expenditure				
6800 SA Rates - Isambard House	3,842	3,958	3,842	116
6801 SA Water Rates - Isambard House	693	714	(1,579)	2,293
6802 SA Gas - Isambard House	438	3,000	94	2,906
6803 SA Electricity - Isambard House	4,817	7,494	1,772	5,722
6804 SA Fire & Security Alarm - Isambard House	473	967	403	564
6808 SA Cleaning Materials & Equipment - Isambard House	1,026	1,350	796	554
6810 SA General Repairs & Maintenance - Isambard House	1,889	2,560	165	2,395
6813 SA Refreshments Costs - Isambard House	81	500	367	133
6814 SA Equipment - Isambard House	426	1,094	58	1,036
6821 SA IT & Office Costs - Isambard House	0	500	0	500
6822 SA Activities & Events	1,886	1,106	0	1,106
Total Operating Expenditure	15,571	23,243	5,918	17,325

Total Isambard House Operating Surplus/ (Deficit)	(7,398)	(16,623)	(2,745)	(13,878)
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Isambard House EMF Expenditure				
6473 SA EMF Station Building (Purchase & Capital Works)	31,822	41,566	926	40,640
6818 SA EMF Professional Costs - Isambard House	105	3,211	0	3,211
6870 SA EMF Isambard House Retention Fund	0	18,492	0	18,492
6871 SA EMF Tresorys Kernow Funding	35	562	562	0
6872 SA EMF Entertainment Licenses	0	2,132	632	1,500
Total Isambard House EMF Expenditure	31,962	65,963	2,119	63,844

Total Isambard House Expenditure (Operational & EMF)	47,533	89,206	8,037	81,169
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Total Isambard House Budget Surplus/ (Deficit)	(39,360)	(82,586)	(4,864)	(77,722)
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Key

Recommendation to reclassify **6818 SA Professional Fees - Isambard House** as an EMF code and rename to **6818 SA EMF Professional Fees - Isambard House**

Spending is on target as predicted at this point in the financial year

Spending is higher than anticipated and needs to be monitored closely

Budget is overspent - requires investigation and recommend virement

To receive a report on the purchase of land at Pillmere and consider any actions and associated expenditure

Report to: Services Committee

Date of Report: 21 October 2025

Officer Writing the Report: Town Clerk / Responsible Finance Officer

Pursuant to: Services Committee held 9 October 2025, minute number 57/25/26

Purpose of this report:

To present the advice received from the Town Council's solicitor, enabling Members to make an informed decision on the matter under consideration and to provide the solicitor with clear direction regarding the next steps.

Officers Recommendations

Members are requested to review the Coodes Report on Title, along with the accompanying list of enclosures, and refer to the Town Clerk's report summary. This review is intended to support consideration of the questions raised, enabling Coodes to proceed with the Property transfer.

Please note, this is not a final sign-off, as there are outstanding matters still to be addressed.

Report Summary

Saltash Town Council approved the Services Committee's recommendation to proceed with the transfer of land at both Pillmere sites.

It was proposed by Councillor Peggs, seconded by Councillor Gillies, and RESOLVED:

1. To recommend to Full Town Council the acceptance of Taylor Wimpey's offer to transfer the titles of Harebell Close and Champion Close at no cost to Saltash Town Council.
2. That all associated legal fees be covered by Taylor Wimpey, not Saltash Town Council.

3. To delegate to the Service Delivery Manager the responsibility to assess both sites following completion of the transfer and site clearance, and to report back to a future Services Committee meeting on the condition of the sites for future use.

Further to this resolution, Coodes Solicitors have been appointed to undertake the Property transfer at no cost to Saltash Town Council.

Coodes have submitted their Report on Title to Saltash Town Council, this has been shared with Members via a secure SharePoint link marked private and confidential. This report must not be shared or relied upon by any third party without written consent from Coodes.

Outstanding Matters to Follow:

1. Replies to enquiries
2. Signed Transfer
3. Land Registry Official Search

Key Points from Coodes' Report on Title:

Section 2 – Scope of Review and Limitation of Liability:

- 2.4: Coodes have not inspected the Property and cannot advise on its physical condition. Members may wish to arrange a survey.
- 2.5: Coodes cannot advise on the Property's value. Members may wish to obtain a valuation.

Section 4 – The Property:

- 4.2: Title plans are enclosed. Members are asked to verify that the plans accurately reflect the Property being transferred – for further information please refer to **Appendix A, B, C**.

Further to this, the Transferor is offering Saltash Town Council the subsoil of the roads under Title CL179737 at no cost. This offer has been made due to the complexity and expense involved in separating the green parcels from the red parcels, as both are currently registered under the same Title.

It is understood that the roads have been adopted by Cornwall Council Highways, who are therefore responsible for their maintenance and management. However, it remains unclear whether ownership of the subsoil could carry any implications or liabilities for Saltash Town Council. At present, no advice has been provided by Coodes regarding any potential responsibilities associated with this ownership.

Additionally, it is not clear whether the red areas shown in Appendix B represent roads, footpaths, or other types of land, nor what responsibilities, if any, this might entail for our team in terms of maintenance or oversight.

Given these uncertainties, I recommend that Members seek further legal advice before making any decision to proceed with the transfer of property.

- 4.3: The Property has absolute freehold title, the highest class of title.
- 4.5: The Property is not subject to any registered charges.

Section 7 – Search Results:

- 7.1: Local land charges search is a snapshot as of 19 September 2025. Future charges may still apply. Members should confirm if the Property abuts the highway or if there are any plans to alter access.
- The Property is located in a radon-affected area, common in Cornwall.
- 7.2: The Property lacks mains water and public sewer connections. A drainage search is recommended if future development is planned.
- 7.3: Environmental search results show no contamination, negligible flood risk, and no ground stability issues.
- 7.23: A chancel repair liability may apply. It is recommended that Members approve the purchase of indemnity insurance (£22.68 per site, in perpetuity). Coodes have asked the Transferor to cover this cost.
- 7.25: No public rights of access were identified.

Section 8 – Enquiries:

- Enquiries are ongoing with the Transferor's solicitor. Members are invited to raise any additional questions they may have.

Section 9 – Transfer Deed:

- The Transfer Deed includes Property details, Transferor and Saltash Town Council information, and a nominal consideration of £1.00.
- The Transferor is transferring with full title guarantee.
- No new covenants are being imposed.
- The “Other” provision will be removed if no existing covenants apply.
- The deed will require execution by both parties.

Section 10 – Conclusion:

Subject to the matters outlined above and any outstanding issues, Coodes are of the opinion that upon completion and registration, Saltash Town Council will obtain a good and marketable title to the Property.

Attachments

1. Office Copy Entries and Title Plan
2. Copy Deed and Deed Variation
3. Local Authority and Highways Searches
4. Drainage and Water Searches
5. Environmental Searches
6. Mining Searches
7. Chancel Searches
8. Open Access Search
9. Transfer Deed

How Does This Meet the Business Plan?

Boosting Jobs and Economic Prosperity:

- Green spaces can host community markets, pop-up events, or eco-tourism activities that support small businesses and local entrepreneurs.
- Well-maintained green areas enhance the town's appeal, encouraging inward investment and boosting property values.

Health and Wellbeing:

- Green land provides a safe, inclusive environment for relaxation, and social interaction, improving mental and physical health.
- Spaces for gardening, allotments, volunteering, or outdoor classes foster social cohesion and personal wellbeing.
- Natural environments are proven to reduce stress and promote emotional resilience.

Climate Emergency:

- Trees and vegetation on green land absorb carbon dioxide, helping to offset emissions.
- Open land supports habitats for wildlife, contributing to ecological balance.
- Green areas help manage surface water.

Recreation and Leisure:

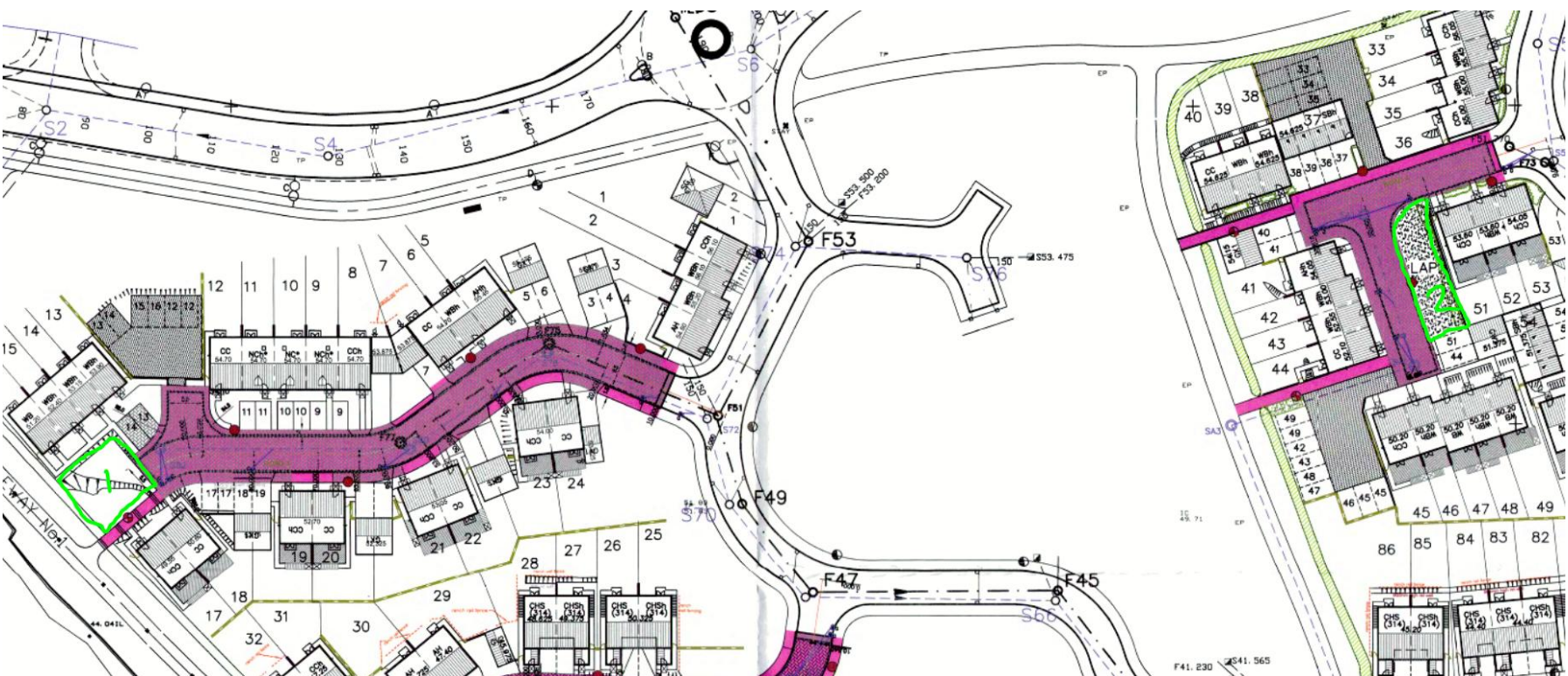
- The land can be used for informal recreation or children's play facilities.
- Open spaces allow for community events, performances, and seasonal festivals.
- Green land offers free, accessible leisure options for all age groups and abilities.

Impact Assessment (Climate)

Once the Town Council has confirmed how it intends to utilise the two Properties, a climate impact assessment will be carried out. The findings will then be shared with Members for their consideration.

Signature of Officer:

Town Clerk / Responsible Finance Officer







This title is dealt with by HM Land Registry, Durham Office.

The electronic official copy of the register follows this message.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.



Official copy of register of title

Title number CL179737

Edition date 16.07.2024

- This official copy shows the entries on the register of title on 12 AUG 2025 at 13:30:14.
- This date must be quoted as the "search from date" in any official search application based on this copy.
- The date at the beginning of an entry is the date on which the entry was made in the register.
- Issued on 12 Aug 2025.
- Under s.67 of the Land Registration Act 2002, this copy is admissible in evidence to the same extent as the original.
- This title is dealt with by HM Land Registry, Plymouth Office.

A: Property Register

This register describes the land and estate comprised in the title.

CORNWALL

- 1 The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being Land at Pillmere, Saltash.
- 2 (15.01.1999) The mines and minerals are excluded from the registration of the land tinted pink on the filed plan.
- 3 (15.01.1999) The land in this title has the benefit of a right of way over Pillmere Lane leading thereto from Callington Road subject to the payment of a proportion of the cost of maintenance.
- 4 (01.06.2000) There are excluded from the registration of the land tinted blue on the filed plan the minerals excepted by a Conveyance thereof and other land dated 8 October 1976 made between (1) Ronald Charles Brock and Arthur John Brock (Vendors) and (2) Christopher Bernard Harrison and Jennifer Harrison (Purchasers) in the following terms:-

"Subject to the mineral rights of the Duchy of Cornwall and the Manor of Trematon so far as the same are still subsisting and capable of being enforced."
- 5 (01.06.2000) The land has the benefit of but is subject to the rights granted by the Deed dated 2 May 2000 referred to in the Charges Register.
- 6 (01.06.2000) The Deed dated 2 May 2000 referred to in the Charges Register contains a provision as to light or air.
- 7 (04.06.2001) By a Deed of Variation and Covenant dated 30 May 2001 made between (1) M Baker (Property Services) Limited (2) Cofton Limited (3) Barratt Homes Limited and others and (4) The Governor and Company of the Bank of Scotland, the plans to the Deed dated 2 May 2000 referred to in the Charges Register were varied as therein mentioned.

By the said Deed of Variation and Covenant dated 30 May 2001 clause 2 of Schedule Four to the Deed dated 2 May 2000 referred to above was released.

NOTE: Copy filed under CL49766.

- 8 (13.02.2002) By a Transfer dated 13 February 2002 made between (1)

A: Property Register continued

Cofton Limited (Transferor) and (2) Persimmon Homes (South West) Limited and others (Transferees) the rights granted by clause 2.1 of the Deed dated 2 May 2000 referred to above were released. The said Transfer also grants rights in substitution therefore. The following are details of the terms of release and grant:-

"13.1 In this clause the following expressions shall have the following meanings:-

"Site" means the land already registered in the name of the Transferee and comprised in title number CL160160.

"Land" means the land hereby transferred

"Cofton Land" means the land already registered in the name of the Transferor and comprised in title number CL159783

"Deed of Grant" means the Deed of grant dated 2 May 2000 and made between the Transferor (1) and the Transferee (2) and M Baker (Property Services) Limited (3)

"Old Easements" means the rights granted by the Deed of Grant for the benefit of the Site over the Land and noted at entry number 7 of the Property Register of title number CL160160 and granted at clause 2.1 of the Deed of Grant

"New Easements" means the grant of new rights and easements identical to those granted by the Transferor at clause 2.1 of the Deed of Grant

13.2 The parties hereby release the Land from the Old Easements

13.3 Cofton hereby grants for the benefit of the Land the New Easements over the Cofton Land."

9 (18.02.2002) The land has the benefit of the following rights granted by but is subject to the following rights reserved by the Transfer dated 13 February 2002 referred to in the Charges Register:-

"13.1 IN this Deed the following definitions apply where the context admits:

13.1.1 "Development" means the construction on the Property of dwelling houses

13.1.2 "Access Roads" means and includes the roads and footpaths constructed with the Perpetuity Period on the Adjoining Land and the Blue Property

13.1.3 "Perpetuity Period" means the period of eighty years commencing on the date of this Transfer

13.1.4 "Plan" means the drawing which is attached to this Transfer

13.1.5 "Adjoining Land" means the land shown edged green hatched green on the Plan

13.1.6 "the Blue Property" means that part of the Property edged blue and hatched blue on the Plan

13.1.7 "Retained Land" means the remainder of the Transferor's land and property situate at Pillmere Saltash Cornwall shown red and green on the Plan and comprised in the above numbered title

13.1.8 "Service Installations" means all sewers drains pipes wires cables channels conduits services systems and conducting media

13.1.9 "Services" means foul and surface water drainage electricity water supply gas telephone and any other services available to the Property

13.2 The Property is transferred TOGETHER WITH the easements and rights for the use and enjoyment of the Blue Property set out in the Schedule to this Transfer which shall be deemed to benefit the

A: Property Register continued

whole of the Blue Property and each and every part thereof (and which shall be enjoyed in common with the Transferor and others authorised by them and others having the like rights or to whom like rights may be granted) BUT EXCEPTING AND RESERVING out of the Blue Property the exceptions and reservations set out in the Second Schedule to this Transfer to the Transferor and its successors in title for the benefit of any or all of the Adjoining Land

THE FIRST SCHEDULE Rights and Easements Granted

1. The right to connect into and thereafter the right to the free passage and running of Services through any Service Installations for such Services now or within the Perpetuity Period laid or constructed in on under through or which belong to the Adjoining Land and which are intended to serve the Blue Property subject only to the payment of a fair proportion of the cost of maintaining and repairing such of the Service Installations as are not adopted and maintained or repaired by the Local Authority or other responsible Public Service Undertaking or Public Utility Authority

2. The right at any time within the Perpetuity Period to enter upon the Adjoining Land to lay connect into maintain construct repair service and renew the Service Installations now or within the Perpetuity Period laid or constructed in on under or through the Adjoining Land and to lay and thereafter maintain and repair new Service Installations for foul and surface water drainage causing as little damage as reasonably possible and nevertheless making good as soon as reasonably possible and to the reasonable satisfaction of the Transferor any damage caused or compensating the Transferor or the other owner or owners for the time being of the Adjoining Land for all physical damage occasioned by such entry and the exercise of such rights but not further or otherwise

3. Full and free right and liberty to lateral and subjacent support and protection for the Blue Property and any buildings to be constructed thereon within the Perpetuity Period from the Adjoining Land

4. The right to go pass and repass at all times and for all purposes on Access Roads on the Adjoining Land

5. The right to have maintain and keep the eaves gutters spouts downpipes foundations and other structures and boundary features serving the buildings on the Blue Property overhanging or protruding beneath the Adjoining Land and to enter at all reasonable times in the daytime upon the Adjoining Land so far as may be necessary but not otherwise for the purposes of inspecting cleansing painting repairing renewing rebuilding and maintaining all the structures and features hereinbefore referred to upon giving reasonable notice (save in the case of emergency) causing as little damage as reasonably possible and making good all damage occasioned by the exercise of such rights as soon as reasonably practicable or by paying compensation in place thereof sufficient to enable the physical damage to be remedied but not further or otherwise

6. The right to go on to the Adjoining Land for the purposes of constructing repairing maintaining altering rebuilding or inspecting any buildings and other structures and boundary features now or within the Perpetuity Period erected on the Blue Property

THE SECOND SCHEDULE Exceptions and Reservations

1. The right to connect into and thereafter the right to the free passage and running of Services through any Service Installations for such Services now or within the Perpetuity Period laid or constructed in on under through or which belong to the Blue Property and which are intended to serve the Adjoining Land subject only to the payment of a fair proportion of the cost of maintaining and repairing such of the Service Installations as are not adopted and maintained or repaired by the Local Authority or other responsible Public Service Undertaking or Public Utility Authority

A: Property Register continued

2. The right at any time within the Perpetuity Period to enter upon the Blue Property to lay connect into maintain construct repair service and renew the Service Installations now or within the Perpetuity Period laid or constructed in on under or through the Blue Property and to lay and thereafter maintain and repair new Service Installations for foul and surface water drainage causing as little damage as reasonably possible and nevertheless making good as soon as reasonably possible and to the reasonable satisfaction of the Transferor any damage caused or compensating the Transferor or the other owner or owners for the time being of the Blue Property for all physical damage occasioned by such entry and the exercise of such rights but not further or otherwise

3. Full and free right and liberty to lateral and subjacent support and protection for the Adjoining Land and any buildings to be constructed thereon within the Perpetuity Period from the Blue Property

4. The right to go pass and repass at all times and for all purposes on Access Roads on the Blue Property

5. The right to have maintain and keep the eaves gutters spouts downpipes foundations and other structures and boundary features serving the buildings on the Adjoining Land overhanging or protruding beneath the Blue Property and to enter at all reasonable times in the daytime upon the Blue Property so far as may be necessary but not otherwise for the purposes of inspecting cleansing painting repairing renewing rebuilding and maintaining all the structures and features hereinbefore referred to upon giving reasonable notice (save in the case of emergency) causing as little damage as reasonably possible and making good all damage occasioned by the exercise of such rights as soon as reasonably practicable or by paying compensation in place thereof sufficient to enable the physical damage to be remedied but not further or otherwise

6. The right to go on to the Blue Property for the purposes of constructing repairing maintaining altering rebuilding or inspecting any buildings and other structures and boundary features now or within the Perpetuity Period erected on the Adjoining Land."

NOTE: The "Adjoining Land" edged green hatched green on the transfer plan mentioned in clause 13.1.5 is edged and numbered 1, 2, 3 and 4 in blue on the filed plan. "The Blue Property" edged blue and hatched blue on the transfer plan mentioned in clause 13.1.6 is the land in this title. The "Retained Land" hatched red and green on the transfer plan mentioned in clause 13.1.7 is edged and numbered 5, 6, 7 and 8 in blue and edged and numbered 1, 2, 3 and 4 in blue respectively on the filed plan.

10 (18.02.2002) The Transfer dated 13 February 2002 referred to in the Charges Register contains the following provision:-

"13.5 IT IS HEREBY AGREED AND DECLARED that:

13.5.1 no building scheme or other scheme of development is intended to be constituted by this assurance or any matter contained herein shall not be obligatory upon the Transferor on future sales or dealings relating to the Retained Land to impose similar restrictions to those contained in this Transfer

13.5.3 neither the Transferor nor the Transferee or their successors in title are in any way to be bound by the plotting of or other details or proposals shown in respect of the Property or the Retained Land or any other neighbouring or adjoining land from time to time belonging to it as may be shown on any plans at the time prepared in connection with the development of the Property or the Retained Land or such other land except as expressly provided in this Transfer

13.5.4 neither the Transferor or the Transferee shall be entitled to any right of light or air which would in any way diminish or interfere with the free and unrestricted use of the Property or the Retained Land or any part thereof either for building or for any other purposes and that the assurance herein contained shall not be deemed or construed to apply to the grant of any such rights

A: Property Register continued

13.5.5 the siting of the easements hereby granted and reserved shall be ascertained and the exercise thereof shall commence before the expiration of the Perpetuity Period but so that nothing herein contained shall otherwise affect or abridge the effect or operation of Section 62(1)(d) of the Law of Property Act 1925

13.5.6 the easements and rights granted and reserved in this Transfer shall be enjoyed in perpetuity save where this Transfer expressly provides otherwise."

NOTE: The "Retained Land" mentioned in clause 13.5.1 is edged and numbered 1, 2, 3, 4, 5, 6, 7 and 8 in blue on the filed plan. The "Property" mentioned in clause 13.5.3 is the land in this title.

- 11 (07.06.2002) The land edged and numbered in green on the title plan has been removed from this title and registered under the title number or numbers shown in green on the said plan.
- 12 (07.06.2002) Where the parts edged and numbered in green on the filed plan include parts of common accessways rights of way are reserved thereover.
- 13 (04.10.2002) In addition to the land edged and numbered CL188434 in green on the filed plan the first floor of the parts edged and numbered 9,10 and 11 in blue have been removed under CL188434.
- 14 (24.12.2002) A new title plan with an amended extent based on the latest revision of the Ordnance Survey Map has been prepared.

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 (18.02.2002) PROPRIETOR: GEORGE WIMPEY BRISTOL LIMITED (Co. Regn. No. 4127578) of Gate House, Turnpike Road, High Wycombe, Buckinghamshire HP12 3NR and of DX96000, High Wycombe 8.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (09.12.1997) An Agreement dated 30 September 1997 made between (1) Derek John Batten and Muriel Hilda Batten (2) The Cornwall County Council and (3) M Baker (Property Services) Limited contains provisions for the grant of rights over the land in this title and other land in the circumstances therein mentioned.

NOTE: Agreement reference CL30879.

- 2 (15.01.1999) A Deed dated 30 September 1997 pursuant to section 106 of the Town and Country Planning Act 1990 made between (1) Caradon District Council (2) M Baker (Property Services) Limited (3) Midland Bank Plc (4) Jacqueline Mary Du Plessis (5) Christopher Bernard Harrison and Jennifer Harrison (6) Lloyds Bank Plc (7) Derek John Batten and Muriel Hilda Batten (8) Westgrove Projects Limited and (9) South West Water Services Limited contains covenants and provisions relating to the residential development associated site works and access to the land in this title (and other land).

NOTE: Deed reference CL143451.

- 3 (15.01.1999) A Deed dated 25 September 1998 pursuant to section 106 of the Town and Country Planning Act 1990 made between (1) Caradon District Council (2) M Baker (Property Services) Limited (3) Midland Bank Plc (4) Jacqueline Mary Du Plessis (5) Christopher Bernard Harrison and Jennifer Harrison (6) Derek John Batten and Muriel Hilda

C: Charges Register continued

Batten (7) Westgrove Projects Limited and (8) South West Water Limited contains covenants and provisions relating to the residential development associated site works and access to the land in this title (and other land).

NOTE: Deed reference CL143451.

- 4 (01.06.2000) A Deed dated 2 May 2000 made between (1) M Baker (Property Services) Limited (2) Barratt Homes Limited (3) Cofton Limited (4) Persimmon Homes (South West) Limited and (5) Wimpey Homes Holdings Limited contains restrictive covenants.

NOTE: Copy filed under CL178044.

- 5 (18.02.2002) A Transfer of the land in this title dated 13 February 2002 made between (1) Persimmon Homes (South West) Limited and others (Transferor) and (2) George Wimpey Bristol Limited (Transferee) contains the following covenants:-

"13.4 The Transferor and the Transferee for themselves and their successors in title HEREBY COVENANT each with the other and its successors in title to the intent and so as to bind so far as practicable the Property and the Retained Land respectively into whosoever hands the same may come and every part thereof and so as to benefit and protect the Retained Land and the Property respectively (but not so as to render either party liable for any breach of covenant committed after it shall have parted with all interest in the Property or the Retained Land) to observe and perform the restrictions and stipulations set out in the Third Schedule to this Transfer

THE THIRD SCHEDULE The Restrictive Covenants

1. Not to do any act matter or thing which shall or likely to be or become a public or private legal nuisance or which causes any damage to the other party's land or any adjoining owner or to any occupier of the land or buildings adjoining the Property and the Retained Land PROVIDED THAT the construction and use of the Development on the Property or any future development authorised by the grant of any planning consent and ancillary purposes shall not constitute a breach of this covenant

2. Not to obstruct any Access Road

3. Not to carry out any development upon the Property except residential dwellings for sale in the open market."

NOTE: The definitions are set out in the Property Register.

- 6 (07.06.2002) The estate roads and pavements are subject to rights of way.
- 7 (07.06.2002) The common accessways are subject to rights of way.
- 8 (07.06.2002) The land is subject to rights to use the foul and surface water sewers therein for the passage of water and sewage.
- 9 (07.06.2002) The land is subject to rights to use the drains channels sewers pipes wires cables watercourses gutters and other conducting media therein for the passage of water sewage gas electricity and other services together with rights of entry for the purpose of inspecting maintaining repairing and renewing the same.
- 10 (07.06.2002) The parts of the land respectively affected thereby which adjoin the parts edged and numbered in green on the filed plan are subject to (a) rights of overhang or protrusion of buildings or other structures erected on the parts so edged and numbered (b) rights of support and protection for the said buildings and structures and (c) rights of entry for the purpose of inspecting maintaining repairing and renewing the said buildings and structures.
- 11 (18.02.2004) Option to purchase the land hatched blue on the title plan in favour of The Cornwall County Council contained in a Deed of Agreement pursuant to Section 38 of the Highways Act 1980 and Section 32 of the Local Government (Miscellaneous Provisions) Act 1982 dated 12

C: Charges Register continued

February 2004 made between (1) The Cornwall County Council (2) George Wimpey Bristol Limited and (3) National House Building Council and exercisable within a period of 21 years from 12 february 2004.

NOTE: Copy filed.

End of register

If you need more room than is provided for in a panel, and your software allows, you can expand any panel in the form. Alternatively use continuation sheet CS and attach it to this form.

Leave blank if not yet registered.

Insert address including postcode (if any) or other description of the property, for example 'land adjoining 2 Acacia Avenue'.

Give full name(s).

Complete as appropriate where the transferor is a company.

Give full name(s).

Complete as appropriate where the transferee is a company. Also, for an overseas company, unless an arrangement with Land Registry exists, lodge either a certificate in Form 7 in Schedule 3 to the Land Registration Rules 2003 or a certified copy of the constitution in English or Welsh, or other evidence permitted by rule 183 of the Land Registration Rules 2003.

Each transferee may give up to three addresses for service, one of which must be a postal address whether or not in the UK (including the postcode, if any). The others can be any combination of a postal address, a UK DX box number or an electronic address.

1	Title number(s) of the property: CL179737
2	Property: Land at Pillmere, Saltash
3	Date:
4	<p>Transferor: George Wimpey Bristol Limited</p> <p><u>For UK incorporated companies/LLPs</u> Registered number of company or limited liability partnership including any prefix: 4127578</p> <p><u>For overseas companies</u> (a) Territory of incorporation:</p> <p>(b) Registered number in England and Wales including any prefix:</p>
5	<p>Transferee for entry in the register:</p> <p>Saltash Town Council</p> <p><u>For UK incorporated companies/LLPs</u> Registered number of company or limited liability partnership including any prefix:</p> <p><u>For overseas companies</u> (a) Territory of incorporation:</p> <p>(b) Registered number in England and Wales including any prefix:</p>
6	<p>Transferee's intended address(es) for service for entry in the register:</p> <p>The Guildhall, 12 Lower Fore Street, Saltash, PL12 6JX</p>
7	The transferor transfers the property to the transferee

Place 'X' in the appropriate box. State the currency unit if other than sterling. If none of the boxes apply, insert an appropriate memorandum in panel 11.

Place 'X' in any box that applies.

Add any modifications.

Where the transferee is more than one person, place 'X' in the appropriate box.

Complete as necessary.

Insert here any required or permitted statement, certificate or application and any agreed covenants, declarations and so on.

<p>8 Consideration</p> <p><input checked="" type="checkbox"/> The transferor has received from the transferee for the property the following sum (in words and figures): £1.00 (one pound only)</p> <p><input type="checkbox"/> The transfer is not for money or anything that has a monetary value</p> <p><input type="checkbox"/> Insert other receipt as appropriate:</p>
<p>9 The transferor transfers with</p> <p><input checked="" type="checkbox"/> full title guarantee</p> <p><input type="checkbox"/> limited title guarantee</p>
<p>10 Declaration of trust. The transferee is more than one person and</p> <p><input type="checkbox"/> they are to hold the property on trust for themselves as joint tenants</p> <p><input type="checkbox"/> they are to hold the property on trust for themselves as tenants in common in equal shares</p> <p><input type="checkbox"/> they are to hold the property on trust:</p>
<p>11 Additional Provisions</p> <p>Definitions</p> <p>N/A</p> <p>Rights granted for the benefit of the Property</p> <p>N/A</p> <p>Rights reserved for the benefit of other land</p> <p>N/A</p> <p>Restrictive covenants by the Transferee</p> <p>N/A</p> <p>Restrictive Covenants by the Transferor</p> <p>N/A</p> <p>Other</p> <p>With the object of affording the Transferor a full and sufficient indemnity but not further or otherwise the Transferee hereby covenants with the Transferor that the Transferee will at all times hereafter observe and perform the restrictive covenants conditions and stipulations (if any) contained or referred to in the Charges Register of the Title Number above referred to so far as the same relate to the Property and are still subsisting</p>

and capable of being enforced and that it will keep the Transferor indemnified against all actions claims demands and liabilities whatsoever in respect of any future breach non-observance or non-performance thereof

The transferor must execute this transfer as a deed using the space opposite. If there is more than one transferor, all must execute. Forms of execution are given in Schedule 9 to the Land Registration Rules 2003. If the transfer contains transferee's covenants or declarations or contains an application by the transferee (such as for a restriction), it must also be executed by the transferee.

12 Execution

EXECUTED as a deed by GEORGE WIMPEY BRISTOL LIMITED acting by its first Attorney

in the presence of:

Witness:

Name:

Address: 730 Waterside Drive, Aztec West, Almondsbury, Bristol, BS32 4UE

And its second Attorney

in the presence of:

Witness:

Name:

Address: 730 Waterside Drive, Aztec West, Almondsbury, Bristol, BS32 4UE

EXECUTED as a **DEED** by
SALTASH TOWN COUNCIL

By affixing the common seal in the presence of:

Authorised Signatory

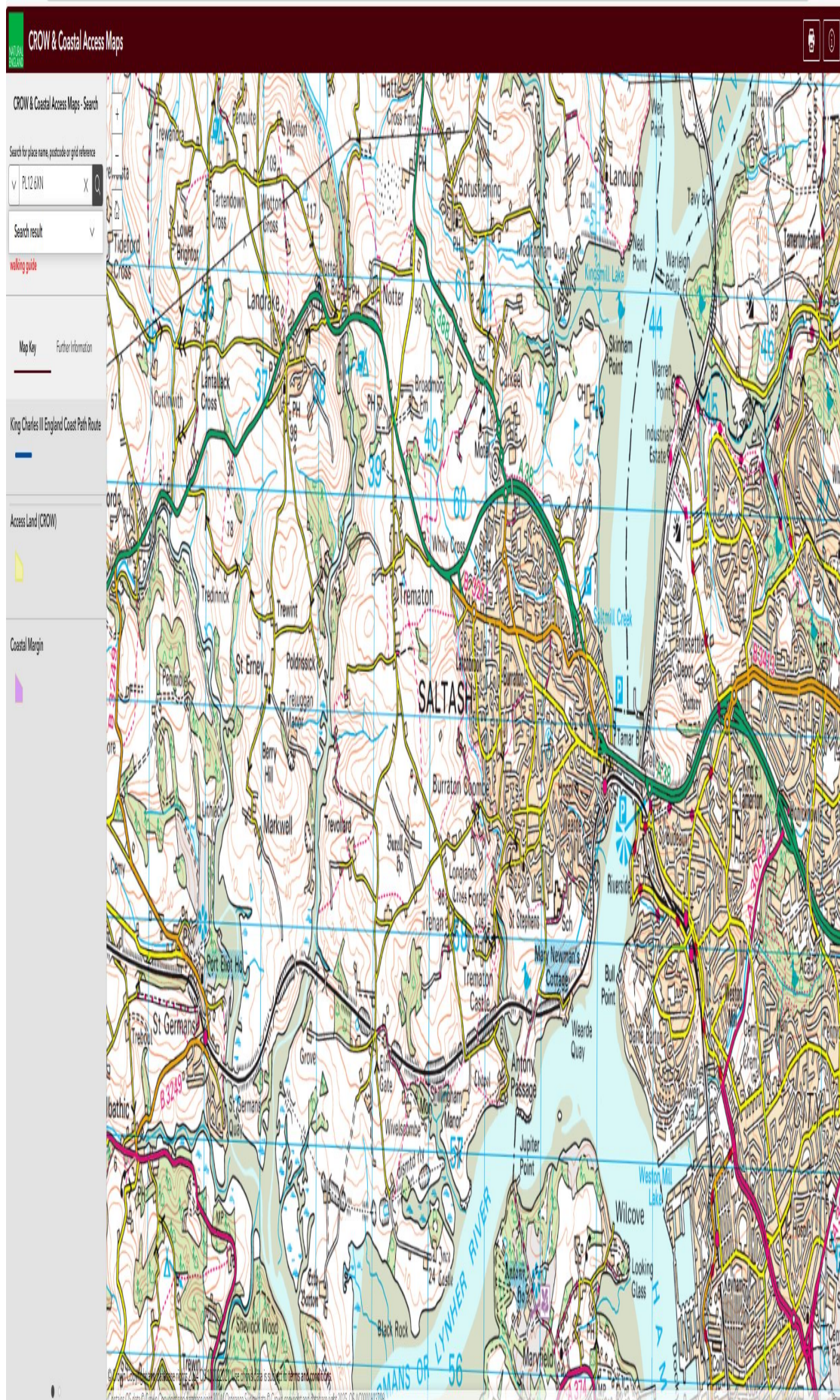
WARNING

If you dishonestly enter information or make a statement that you know is, or might be, untrue or misleading, and intend by doing so to make a gain for yourself or another person, or to cause loss or the risk of loss to another person, you may commit the offence of fraud under section 1 of the Fraud Act 2006, the maximum penalty for which is 10 years' imprisonment or an unlimited fine, or both.

Failure to complete this form with proper care may result in a loss of protection under the Land Registration Act 2002 if, as a result, a mistake is made in the register.

Under section 66 of the Land Registration Act 2002 most documents (including this form) kept by the registrar relating to an application to the registrar or referred to in the register are open to public inspection and copying. If you believe a document contains prejudicial information, you may apply for that part of the document to be made exempt using Form EX1, under rule 136 of the Land Registration Rules 2003.

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X-PRESS LEGAL SERVICES
LIMITED - LOOE
THE HILL HOUSE
ST MARTINS ROAD, LOOE
CORNWALL, PL13 1LP

CON29DW COMMERCIAL

DRAINAGE & WATER SEARCH

Search Location:

LAND ADJACENT TO 9 HAREBELL
CLOSE HAREBELL CLOSE,
PILLMERE, SALTASH, PL126XL

National grid reference:

241487, 59705

Report Reference:

GIS/PY/LAN/12092025/38

Date Search Produced:

12 September 2025

Your Reference:

00761091

Date Request Received:

12 September 2025

Prepared For:

X-PRESS LEGAL SERVICES LIMITED -
LOOE
THE HILL HOUSE
ST MARTINS ROAD, LOOE
CORNWALL, PL13 1LP

Intended Recipient:

James Ferguson

**DRAINAGE + WATER
SEARCHES NETWORK**
DWSN

INTRODUCTION

**RE: LAND ADJACENT TO 9 HAREBELL CLOSE HAREBELL CLOSE, PILLMERE,
SALTASH, PL126XL - 00761091**

Please find enclosed the results of your Drainage and Water Search request for the above site dated 12 September 2025.

South West Water Limited has made all reasonable efforts to ensure the accuracy of this information, but provides it subject to the following conditions:

- Service pipes and drainage connections may not be shown
- Our liability for any inaccuracies or omissions in the information is limited and your attention is drawn to the terms and conditions attached to this search and those on the CON29DW order form
- No reference is made in the information to any interest or right of the Company on any land, this is not to be taken as conclusive evidence that no such interest or right exists

These reservations are in addition to any statutory regulations which may apply. Please refer to notes at the end of this search report for further information and advice on sewers and water mains and for the full terms and conditions under which this report is supplied.

The person who prepared this report, identified below, has not knowingly had any personal or business relationship with any individual involved in the sale of the property.

Records searched in order to compile this report, including the public sewer and water maps, customer account information and any other statutory registers, together with records on build-over consents and sewer adoption agreements, are all held by the relevant water and/or drainage company identified in this report.

Where relevant, mapping extracts supplied by Ordnance Survey are reproduced by permission of the Controller of HMSO, © Crown Copyright South West Water Ltd. Licence no. 0100031673.

For more information on the searches & services offered by Source for Searches please visit sourceforsearches.co.uk

Thank you for your enquiry. If we can be of any further assistance please do not hesitate to contact us by emailing contactus@sourceforsearches.co.uk


Yours faithfully,

Paul Yard
sourceforsearches.co.uk

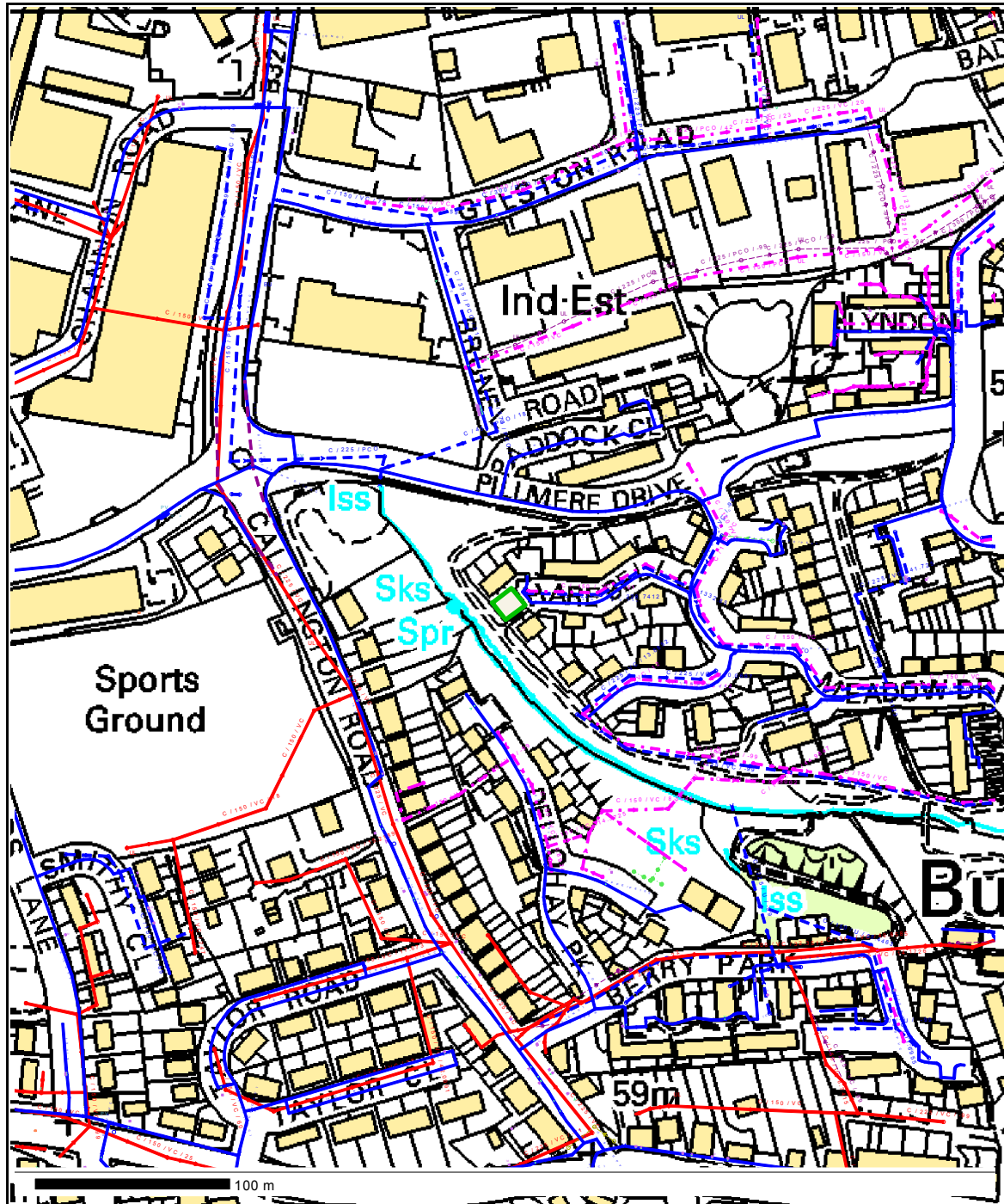
ORDER SUMMARY

Section 1 - Maps			
1.1	Where relevant, please include a copy of an extract from the public sewer map.	✓	Map Included
1.2	Where relevant, please include a copy of an extract from the map of waterworks.	✓	Map Included
Section 2 - Drainage			
2.1	Does foul water from the property drain to a public sewer?	🚩	NO
2.2	Does surface water from the property drain to a public sewer?	🚩	NO
2.3	Is a surface water drainage charge payable?	🚩	NO
2.4	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	🚩	NO
2.4.1	Does the public sewer map indicate any public pumping station or ancillary apparatus within the boundaries of the property?	🚩	NO
2.5	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?	🚩	NO
2.5.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property?	🚩	NO
2.6	Are any sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	🚩	NO
2.7	Has a Sewerage Undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	🚩	NO
2.8	Is any building which is, or forms part of the property, at risk of internal flooding due to overloaded public sewers?	🚩	NO
2.9	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.		1.9km to the West
Section 3 - Water			
3.1	Is the property connected to mains water supply?	🚩	NO
3.2	Are there any water mains, resource mains or discharge pipes within the boundaries of the property?	🚩	NO
3.3	Is any water main or service pipe serving, or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	🚩	NO
3.4	Is the property at risk of receiving low water pressure or flow?	🚩	NO
3.5	What is the classification of the water supply for the property?		See Details
3.6	Is there a meter installed at the property?		NO
3.7	Please include details of the location of any water meter serving the property.		See Details

ORDER SUMMARY

Section 4 - Charging		
4.1.1	Who is responsible for providing the sewerage services for the property?	South West Water
4.1.2	Who is responsible for providing the water services for the property?	South West Water
4.2	Who bills the property for sewerage services?	Private
4.3	Who bills the property for water services?	Private
Section 5 - Trade Effluent		
5.1	Is there a Consent to discharge Trade Effluent under S118 of the Water Industry Act (1991) into the public sewer system?	 NO
Section 6 - Supplementary Questions		
6.1	Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?	Information Unavailable
6.2	On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.	Information Unavailable

OVERVIEW PLAN



**LOCATION : LAND ADJACENT TO 9 HAREBELL CLOSE HAREBELL CLOSE, PILLMERE,
SALTASH, PL126XL**

Grid Ref : 241487m East, 59705m North

THE POSITION & DEPTH OF APPARATUS AND OTHER INFORMATION INDICATED ON THIS MAP IS PROVIDED AS A GENERAL GUIDE ONLY AND NO ASSURANCE OR WARRANTY AS TO ITS CORRECTNESS OR ACCURACY IS GIVEN OR SHOULD BE INFERRED. EXACT POSITIONS & DEPTHS SHOULD BE OBTAINED BY EXCAVATION TRIAL HOLES AND THE MAP MUST NOT BE RELIED ON IN THE EVENT OF EXCAVATION OR OTHER WORKS UNDERTAKEN OR PLANNED IN THE VICINITY OF THE COMPANY'S APPARATUS.

PLEASE NOTE THAT NOT ALL MAINS, SERVICE PIPES AND OTHER APPARATUS OF THE COMPANY IN THE AREA OF THE PLAN ARE SHOWN.

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SECTION 1 - MAPS

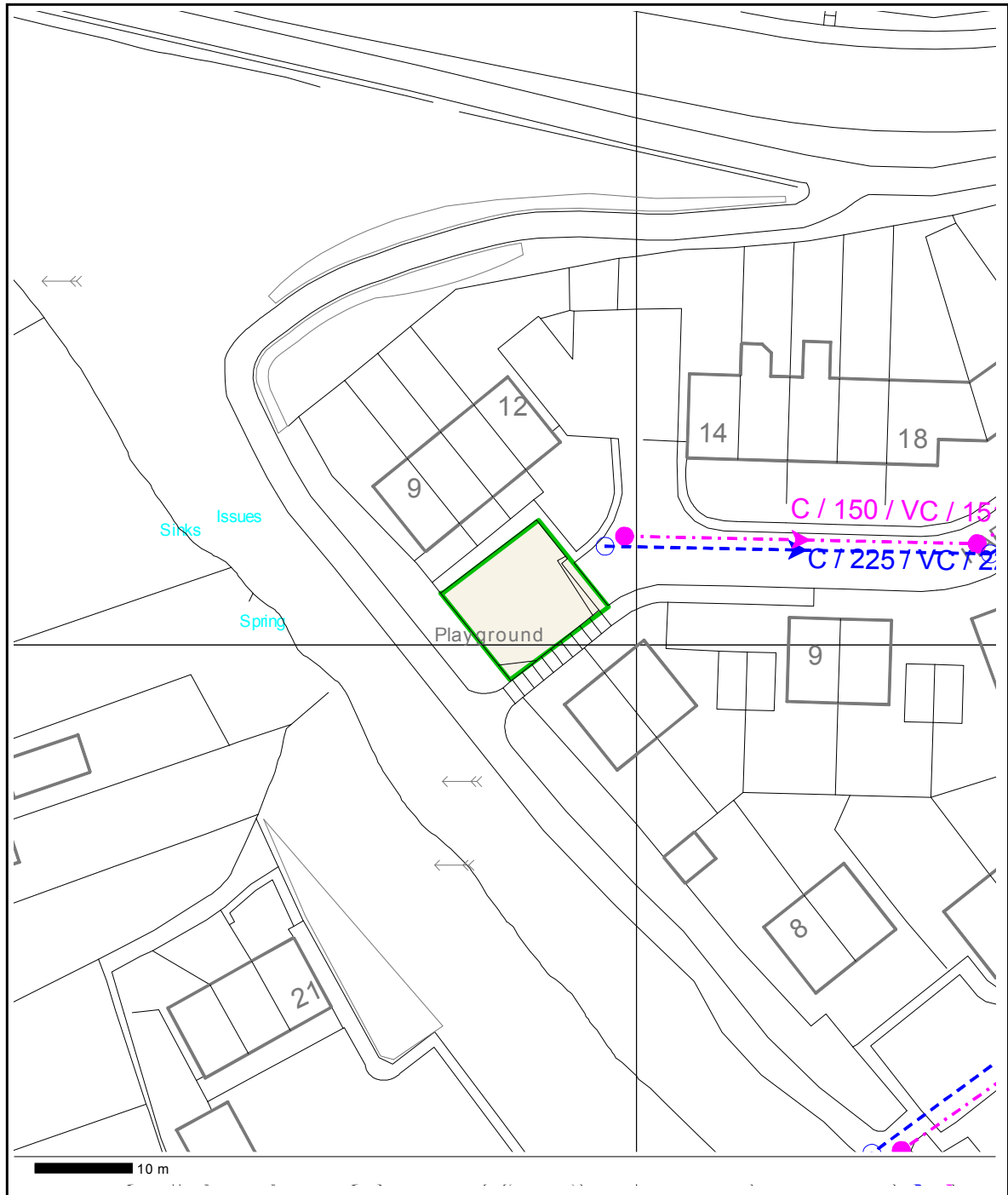
- 1.1 Where relevant, please include a copy of an extract from the public sewer map.

A copy of an extract from the public sewer map is included, showing the public sewers, disposal mains and lateral drains in the vicinity of the property. See notes a,b, c

- 1.2 Where relevant, please include a copy of an extract from the map of waterworks.

A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property. See notes d,p,q

1.1 - DRAINAGE PLAN



**LOCATION : LAND ADJACENT TO 9 HAREBELL CLOSE HAREBELL CLOSE, PILLMERE,
SALTASH, PL126XL**

Grid Ref : 241487m East, 59705m North

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DRAINAGE KEY

Sewers are generally classified by what they convey, as well as whether they are public or private pipes. Line style denotes function, and colour defines status (public or private).

Examples of the abbreviation details above a Sewer Pipe
(details will be in the same colour as the pipe itself):

A B C D
Cir / 225 / VC / 82

A: Shape
B: Diameter (replaced by width & length on non-circular pipes)
C: Material
D: Gradient (1: number shown)

Public - Foul		Highway	
Public - Surface		Abandoned Sewer	
Public - Combined		Pumping Main	
Public - Treated		Elevated Sewer	
Private Sewer		Syphon	
Unverified			

Shapes




















Circular	Cir	Rectangular	Rec	Barrel	Brl	Trapezoidal	Trpz
U Shaped	UShp	Horseshoe	Hsho				

Materials

Vitrified Clay	VC	Clay (Salt Glaze)	SG	Pre-cast Concrete	PCO	Concrete	CO
Asbestos Cement	AC	Brick	BR	Stone (Masonry)	MAC	Alkathene	AK
Steel	ST	Concrete Box	CB	Glass Reinforced Plastic	GRP	Plastic	PL
Polypropylene	PP	Unplasticised Polyvinylchloride	UPVC	Polyethylene	PE	Polyvinylchloride	PVC
Concrete Segments Bolted	CSB	Pitch Fibre	PF	Concrete Segments Unbolted	CSU	Medium Density Polyethylene	MDPE
Not Known	NK						

DRAINAGE KEY CONTINUED

Sewerage Structures (shown in common colours)

Manhole Foul / Trade		Manhole Surface		Manhole Private		Manhole Combined	
Soakaway	SK	Washout	WO	Catchpit	CP	Hatchbox	HB
Flushing	FC	Lamphole	 LH	Tank Online	 TN	Tank Offline	TO
Septic Tank	 S	Cesspit	C	Header	 E	Drain	 LD
Reflux Valve	 RV	Sluice Valve		Air Valve	 AV	Venting Pole	VP
Storm Overflow				Undefined Connection			
Outfall				Backdrop			

Sewerage Installations

Pumping Station		Treatment Works	 WWTW
-----------------	---	-----------------	--

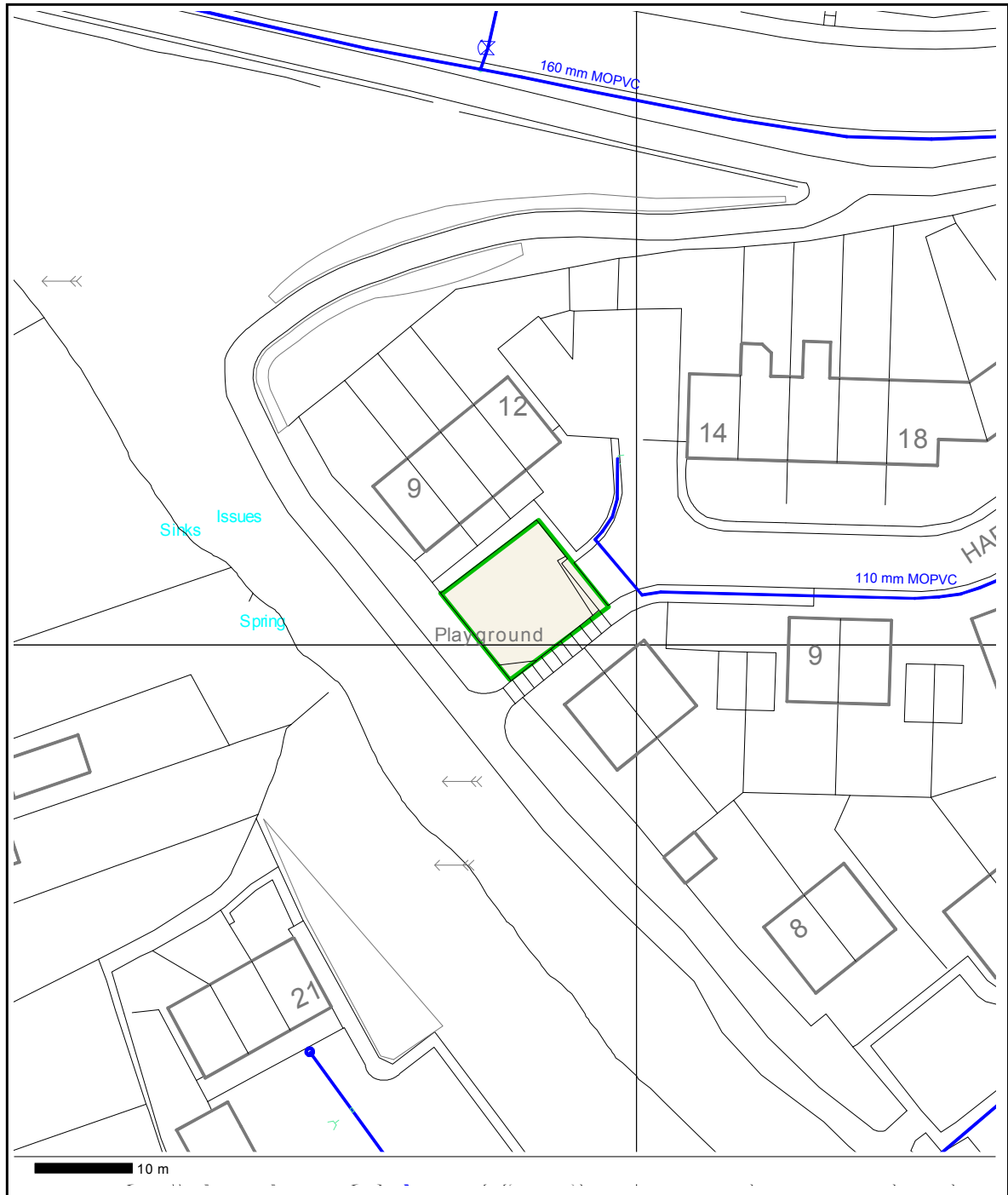
Details on Covers

Lockable	k	Gas / Water Tight	t	Bolted	b
----------	---	----------------------	---	--------	---

Location

Buried	BL	Unable to Locate	UL
--------	----	---------------------	----

1.2 - WATER PLAN



Location : LAND ADJACENT TO 9 HAREBELL CLOSE HAREBELL CLOSE, PILLMERE, SALTASH, PL126XL

Grid Ref : 241487m East, 59705m North

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WATER KEY

Examples of the abbreviation details above a Water Pipe
(details will be in the same colour as the pipe itself):

A B
3 in CI

A: Size
B: Material Abbreviation

Distribution Main
Trunk Main
Communication Pipe



Untreated Main
Private Pipe
Abandoned Main



Cast Iron	CI	Spun Iron	SI	Ductile Iron	DI	Steel	ST
Asbestos Cement	AC	Plastic	UPVC	High Density/ Medium Density Polyethylene	HDPE MDPE	High Pressure Polyethylene	HPPE

Water Features (shown in common colours)

Washout		Hydrant		Hatchbox		Washout Hydrant	
Air Valve (Single)		Air Valve (Double)		Closed Valve Closing Direction: Anti-Clockwise		Closed Valve Closing Direction: Clockwise	
Pump		Pumping Station Number of Pumps as indicated		Open Valve Opening Direction: Anti-Clockwise		Open Valve Opening Direction: Clockwise	
Customer Meter		EBCO M optional if meter fitted		Non-Return Valve /Reflux		Stoptap	
Mains Meter M=Normal DMA/WIS B=Boundary Meter		Optional Readout if location is different from the meter		Relief Valve		End Cap	
Pressure Reducing Valve		Pressure Sustaining Valve		Inlet / Outlet		Pipe Reducer	
Abstraction Point		Bore Hole					

Water Pipe Furniture

Anode		Calgon / Aquarite		Chlorination Point		Flushing on a Sluice Valve	
Insert Flow Meter		Excavation Location		Strainer		Ferrule	

SECTION 2 - DRAINAGE

2.1 Does foul water from the property drain to a public sewer?

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer. See notes d, e, f

2.2 Does surface water from the property drain to a public sewer?

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer. See notes d, e, g

2.3 Is a surface water drainage charge payable?

Records confirm that a surface water drainage charge is not payable for the property. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer.

2.4 Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?

The public sewer map indicates that there are no public sewers, disposal mains or lateral drains within the boundaries of the property. It is recommended that investigations are made into the drainage arrangements of the property as the owner may be liable for repairs to the drainage system. See notes k,l,b

2.4.1 Does the public sewer map indicate any public pumping station or ancillary apparatus within the boundaries of the property?

The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within the boundaries of the property.

2.5 Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

The public sewer map indicates that there are no public sewers within 30.48 metres (100 feet) of any buildings within the property. See notes c, m, n

SECTION 2 - DRAINAGE

- 2.5.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property?

The public sewer map included indicates that there is no public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property.

- 2.6 Are any sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that sewers serving the development, of which the property forms part, are not the subject of an existing adoption agreement or an application for such an agreement. See notes h,i,j,b

- 2.7 Has a Sewerage Undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?

There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. See glossary

- 2.8 Is any building which is, or forms part of the property, at risk of internal flooding due to overloaded public sewers?

The property is not recorded as being at risk of internal flooding due to overloaded public sewers.

From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership. It is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor. See notes dd,ee,ff,gg

SECTION 2 - DRAINAGE

- 2.9 Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

The nearest sewage treatment works is 1.9km to the West of the property.
The name of the nearest sewage treatment works is TREMATON S T.

This facility is owned and operated by South West Water Ltd. See note aa

SECTION 3 - WATER

3.1 Is the property connected to mains water supply?

This enquiry relates to a plot of land or a recently built property. It is recommended that the water supply proposals are checked with the developer.

3.2 Are there any water mains, resource mains or discharge pipes within the boundaries of the property?

The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property. See notes k,r

3.3 Is any water main or service pipe serving, or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement. See notes d,q,u

3.4 Is the property at risk of receiving low water pressure or flow?

Records confirm that the property is not recorded on a register kept by the water undertaker as being at risk of receiving low water pressure or flow. See note y

3.5 What is the classification of the water supply for the property?

Water hardness across the South West ranges from soft to moderately hard. There are no areas classified as hard. Appendix I shows the classification for the region which your property is in. See note z

SECTION 3 - WATER

3.6 Is there a meter installed at the property?

Records indicate that this enquiry relates to a plot of land or a recently built property. See notes s,t

3.7 Please include details of the location of any water meter serving the property.

Records indicate that the property is not served by a water meter. See note w

SECTION 4 - CHARGING

4.1.1. Who is responsible for providing the sewerage services for the property?

South West Water Ltd, Peninsula House, Rydon Lane, Exeter, EX2 7HR, 0344 346 1010 www.southwestwater.co.uk is the sewerage undertaker for the area.

4.1.2. Who is responsible for providing the water services for the property?

South West Water Ltd, Peninsula House, Rydon Lane, Exeter, EX2 7HR 0344 346 1010 www.southwestwater.co.uk is the water undertaker for the area.

4.2. Who bills the property for sewerage services?

The property is not billed for sewerage services.

4.3. Who bills the property for water services?

The property is not billed for water services.

SECTION 5 - TRADE EFFLUENT

- 5.1. Is there a Consent to discharge Trade Effluent under S118 of the Water Industry Act (1991) into the public sewer system?

There is no consent to discharge Trade Effluent at this address. Please be aware it is an offense under S129 of the Water Industry Act of discharging Trade Effluent without consent

See appendix II

SECTION 6 - SUPPLEMENTARY QUESTIONS

- 6.1. Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?

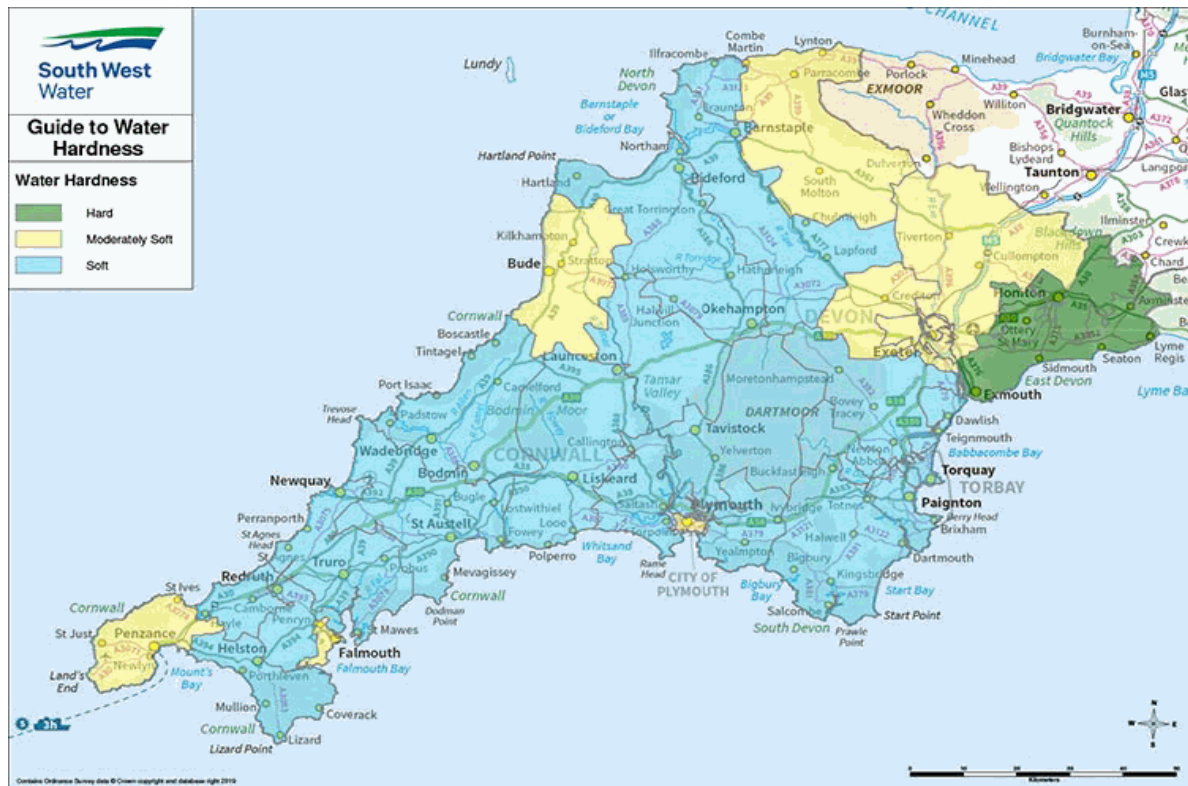
This information is not currently available.

- 6.2. On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.

This information is not currently available.

APPENDIX I - WATER QUALITY REPORT

The map below shows the hardness of water across the South West Water region.



Water hardness measurements

There are several different measurements for water hardness. You may see any of these mentioned in the manuals for washing machines and other appliances.

Hardness category	Calcium (mg/l)	Calcium carbonate (mg/l)	English Clarke degrees	French degrees	General/German degrees
Soft	0 to 20	0 to 50	0 to 3.5	0 to 5	0 to 2.8
Moderately soft	21 to 40	51 to 100	3.6 to 7	6 to 10	2.9 to 5.6
Slightly hard	41 to 60	101 to 150	8 to 10.5	11 to 15	5.7 to 8.4
Moderately hard	61 to 80	151 to 200	10.6 to 14	16 to 20	8.5 to 11.2
Hard	81 to 120	201 to 300	15 to 21	21 to 30	11.3 to 16.8
Very hard	Over 120	Over 300	Over 21	Over 30	Over 16.8

For more information on the water hardness at the property follow the link below to South West Waters water quality checker.

<https://www.southwestwater.co.uk/household/help-support/report-a-problem/hard-water>

APPENDIX II - TRADE EFFLUENT

All industrial waste waters (trade effluents) are subject to a discharge consent system under either the Water Resources Act 1991 or the Water Industry Act 1991.

Trade effluent is legally defined as "any liquid, either with or without suspended particles, which is wholly or partly produced in the course of any trade or industry carried on at trade premises". It does not include domestic sewage. The water & sewerage undertaker for the area charge for this if it goes to sewer.

Consent to discharge

The Water and Sewerage undertaker maintain the sewerage system, provide treatment for the waste, and dispose of the final treated effluent. To allow them to do this effectively, they can impose special restrictions on an effluent before allowing the discharge. These restrictions depend upon the type of treatment provided by the company, the size of connecting sewers and the capacity of the waste water treatment works (WWTW).

Restrictions can also include:

- the nature or composition of the effluent
- the maximum daily volume allowed
- the maximum rate of flow
- the sewer into which the effluent is discharged.
- the temperature of the discharge
- the pH of the effluent.

For further details on a Trade Effluent Consent, see the South West Water trade effluent consent web page:

www.southwestwater.co.uk/wholesale/trade-effluent-services/trade-effluent-consent/

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For more information, please visit www.dwsn.org.uk

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- Act in a professional and honest manner and provide a service with due care and skill.

Complaints Procedure

If any of our customers have a query or issue regarding either the provision or the content of a Source for Searches Drainage and Water search, they should contact the Source for Searches team in the first instance, contact details are on the rear of this search report.

If you do raise a complaint, you can expect the following as a minimum standard from Source for Searches:

1. We will listen to your complaint and do our best to resolve it immediately.
2. If we cannot resolve it at the time, we will record the details of your complaint and we will investigate and contact you within 5 working days in writing and response within 10 working days.
3. Depending on the scale of the investigation required, we will keep you informed of the progress and update you with the new timescales, if necessary.
4. If you want us to liaise with a third party on your behalf, just let us know.
5. If we cannot resolve your complaint or have failed to comply with the complaint's procedure, we can ask an independent body to mediate.

If we consider the complaint to be justified, you can expect the following from Source for Searches:

1. We will refund you the search fee. We will also provide you with a revised search and undertake action within our control to put things right in line with the product terms and conditions. You will be informed of any action required.
2. If your search takes us longer than ten working days to complete and we have not communicated the reasons for the delay, you will receive the search free of charge.
3. Once you have our response, if you are still unhappy, please let us know and we can escalate your complaint.
4. While we aim to resolve your complaint first time, if we are unable to resolve the issue to your satisfaction, ultimately you can contact The Property Ombudsman Scheme (TPOs).

The Property Ombudsman scheme (TPOs)

If we cannot resolve your complaint or have failed to comply with the complaints procedure, you may refer your complaint under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £25,000 to you if the Ombudsman finds that you or your client has suffered actual financial loss, distress or inconvenience.

TPOs Contact Details:

The Property Ombudsman scheme
Milford House
43-45 Milford Street
Salisbury
SP1 2BP

Telephone: 01722 333306
Fax: 01722 332296
Website: www.tpos.co.uk
Email: admin@tpos.co.uk



NOTES - TO ACCOMPANY THE QUESTIONS

The information in the following pages is provided in addition to the responses already provided and to answer any general questions you may have about the content of this report.

Notes to accompany the drainage and water questions

- a. The Company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- b. The section 104 sewer record is not an 'as-constructed' record. It is recommended that these details are checked with the developer.
- c. Assets other than public sewers may be shown on the copy extract, for information only.
- d. The Company is not responsible for private supply pipes connecting the property to the public water main and does not hold details of these. These may pass through land outside of the control of the seller, the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- e. An extract from the public sewer map is enclosed. This will show all known public sewers in the vicinity of the property and you should be able to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.
- f. If foul water does not drain to the public sewerage system the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.
- g. In some cases, company records do not distinguish between foul and surface water connections to the public sewerage system. If on inspection the buyer finds that the property is not connected for surface water drainage the property may be eligible for a rebate of the surface water drainage charge. Details can be obtained from the Company.
- h. Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, intended recipients should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.
- i. Final adoption is subject to the developer complying with the terms of the adoption agreement under S104 of the Water Industry Act 1991.
- j. Where the property is part of an established development it would not normally be subject to an adoption agreement under S104 of the Water Industry Act 1991.
- k. The boundary of the property has been determined by reference to the Ordnance Survey record.
- l. The presence of a public sewer running within the boundary of the property may restrict further development. The Company has a statutory right of access to carry out works on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.
- m. The presence of a public sewer within 100 feet (approx. 30 metres) of the building(s) within the property can result in the local authority requiring a property to be connected to a public sewer.
- n. The measure is estimated from the centre of the property or land shown on the Ordnance Survey record.
- o. Assets other than vested water mains may be shown on the copy extract, for information purposes only.
- p. The Company is not responsible for the drains and sewers which connect the property to the public sewerage system, and does not hold details of these. The current property owner will normally have sole responsibility for the private drains serving the property and may have shared responsibility with other users if the property is served by a private sewer. These may pass through land outside of the control of the seller, the intended recipient may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- q. If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.
- r. The presence of a vested water main within the boundary of the property may restrict further development within it. The Company has a statutory right of access to carry out works on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.
- s. Metered charges will apply where a buyer makes a change of use of the property or where the buyer uses water for:-
 - i. Watering the garden other than by hand,
 - ii. Automatically replenishing a pond or swimming pool >10,000 litres
 - iii. A bath with capacity >230 litres
 - iv. A reverse osmosis unit.
- t. Water and Sewerage companies' full charges are set out in their charges schemes which are available from the company free of charge upon request.
- u. Where a property is part of a very recent or ongoing development and the water mains are not the subject of an adoption application, intended recipients should consult with the developer to ascertain the extent of private water pipes for which they may become responsible.

NOTES - TO ACCOMPANY THE QUESTIONS

- v. The Water Industry Act, 1991 section 150, the Water Resale Order 2001 provides protection for people who buy their water or sewerage services from a person or company instead of directly from a Water or Sewerage Undertaker. Details of this are available from the Office of Water Services (OFWAT): www.ofwat.gov.uk.
- w. Information on the location of water meters is indicative only. Customers without water meters who may wish to consider this method of charging should contact South West Water Metering Services Team.
- x. A sewer is 'overloaded' when the flow from a storm is unable to pass through it due to a permanent problem (e.g.: flat gradient or small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded. 'At Risk' properties are those that the sewerage Undertaker is required to include in the Regulatory Register which is reported annually to the Director General of Water Services. Properties may be at risk of flooding but not included in the register where flooding incidents have not been reported to the Sewerage Undertaker. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker. This report excludes flooding from private sewers and drains and the sewerage Undertaker makes no comment upon this matter.
- y. "Low Water Pressure" means water pressure below the regulatory level which is the minimum pressure when demand on the system is not abnormal. The Water Undertakers are required to include in the Regulatory register (often referred to as the 'DG2 Register'), that is reported annually to the Director General of Water Services (OFWAT), properties receiving pressure below the reference level, provided that allowable exclusions do not apply (for example: temporary 'one-off' events which cause temporary loss of pressure). The reference level of service is a flow of 9 litres per minute at a pressure of 10 metres head. This is measured on the customers' side of the main stop tap / meter. For three or more properties the appropriate flow should be calculated from the standard loadings provided in BS806-3 or the Institute of Plumbing handbook.
- z. Water Undertakers have a duty to provide wholesome water that meets the standards of the Water Supply (Water Quality) Regulations 2000. Water quality is normally tested at the tap used for domestic consumption (normally in the kitchen), however the householder is responsible for any deterioration in quality that is a result of the domestic network and plumbing arrangements within the property that results in the standards not being met. Data collected by the Water Undertaker is subject to external review by the Drinking Water Inspectorate (DWI) and by local and health authorities. If you require any further advice regarding failures in water quality standards, please see Q.4.1.2 for contact details. Authorised departures are not permitted if the extent of the departure from the standard is likely to constitute a potential danger to human health.
- aa. The nearest sewage treatment works will not always be the sewage works serving the catchment within which the property is situated, i.e. the property may not necessarily drain to this works. It should be noted that there may be a private sewage treatment works closer to the property than the public one identified here. The Sewerage Undertaker is unable to comment on the efficiency or odour problems which may arise from such private treatment works.
- bb. Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered. From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have been approved or consulted about any plans to erect a building or extension on the property over or in the vicinity of these.
- cc. From the 1st October 2011 there may be additional lateral drains and/or public sewers which are not recorded on the public sewer map but are also within 30.48 metres (100 feet) of a building within the property.
- dd. A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- ee. "Internal flooding" from public sewers is defined as flooding which enters a building or passes below a suspended floor. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- ff. At Risk properties are those that the Sewerage Undertaker is required to include in the Regulatory Register that is reported annually to the Director General of Water services. These are defined as properties that have suffered or are likely to suffer internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Sewerage Undertaker's reporting procedure. Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included on the At Risk register. Properties may be at risk of flooding but not included on the Register where flooding incidents have not been reported to the Sewerage Undertaker.
- gg. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker.

COMMON DRAINAGE & SUPPLY TERMS

Adoption of sewers

Transfers to the sewerage undertaker the ownership of sewers and the legal obligation for meeting the cost of their maintenance and improvement to meet increasingly stringent environmental standards.

Sewerage Undertaker

Is a limited company succeeding the former water authority and appointed by the Secretary of State to carry out the duties as signed to it by statute. These include the provision, maintenance and improvement of a system of sewers and sewage treatment works.

Building Over Agreement / Consent

No building is permitted over public sewers or water mains without a special agreement such as a 'building-over agreement'. Any such building might cause damage and would restrict or interfere with the undertakers rights of access for inspection, repair, maintenance or renewal of their asset. In some circumstances, agreement may be allowed by the issue of 'consent' rather than by formal agreement.

Cesspool / Cesspit

A sealed tank having no out let, used for the storage of sewerage. The Cesspool must be emptied regularly and running costs can be substantial.

Combined Sewer

A sewer carrying both foul water as well as surface water.

Conveyancing 29 Form, Or 'Con29'

A standard form of conveyancing enquiry, normally addressed to the local authority, published by the Solicitors' Law Stationery Society Limited. The Conveyancing 29 form asks standard questions on such issues as Planning, Development, Highways, Smoke Control Orders, etc. It also asks about drainage. Since 1989, the sewerage undertakers have been responsible for maintaining the records of public sewers. Official Local Authority searches (CON29R/LLC) are available from Source for Searches.

Easements

In the context of this document, an easement is a legal restriction on the activities which land owners can undertake on or above an asset such as a trunk water main. In particular, tree planting and building are generally prohibited. Easements have been used when extra powers are deemed to be required by the water undertaker to protect the asset.

Foul Sewer

A sewer used to transport mainly foul sewerage to a treatment works. It may also contain some surface water from rainfall, when it might be termed a 'combined sewer'.

Lateral Drains

Pre-1936 Sewers

The Public Health Act of 1936 set out a range of responsibilities for the operation and maintenance of sewerage system but the Act recognised that little was known about the existing sewer network. Some had been maintained by private individuals and others by local authorities. Some of the costs had been re-charged to the owners, and the location of all these early sewers had not been surveyed and was unknown. The Act acknowledged the different status of these early sewers and made different provisions in respect of them.

Private Drain

A sewer in private ownership draining only one property. If there is no cesspool or private treatment works, the drain usually connects with a private or public sewer.

COMMON DRAINAGE & SUPPLY TERMS

Private Sewage Treatment Plant

Generally a small treatment works (which could be a septic tank) owned and operated by a community, hotel or household. Treatment plants should conform to the same operational and environmental standards applied to sewage works operated by the water company. Accordingly, the running costs for small plants can be substantial and as environmental standards are raised there may be a need for additional capital investment.

Private Water Supplies

Where a property has no connection to the water mains, a suitable private spring or surface water source may be used. This may require extensive treatment to make the supplies safe and will be subject to examination and control by the local environmental health officer. Approval under the Building Act 1984 for new building work for domestic properties will not be granted unless adequate water supplies and drainage facilities are available.

Public Sewer

A sewer vested in and maintained by the sewerage undertaker. Members of the public generally have the statutory right to connect into and use the public sewer on offering payment of sewerage charges.

Rising Mains / Pumping Mains

These are pipes carrying untreated sewage pumped under pressure. There is no right of connection into them.

Section 102 Declaration

A sewerage undertaker may make, or may be asked to make, a declaration that sewer or sewerage disposal works already in existence will be adopted and maintained at public expense from a particular date.

Section 104 Agreement

An agreement made between a housing developer and the sewerage undertaker under Section 104 of the Water Industry Act 1991, for the adoption of sewers the developer intends to build to serve the new houses. A bond to guarantee proper performance often supports the agreement by the developer of his obligations under the agreement. Such sewers are often required to be constructed to a particular standard before adoption can take place.

Septic Tank

A settlement chamber, which provides treatment to sewage and drainage waters. Overflow from the tank goes to a soak-away or drainage field or occasionally to a sewer. Septic tanks are un-powered. Properties operating them are responsible for the operation, maintenance and occasional emptying of the chamber. Septic tanks function excellently in well drained land. It is becoming less acceptable to operate a septic tank in low-lying land, particularly near rivers and streams. Any pollution problems precipitated by poorly performing septic tanks may mean they need to be decommissioned, and connections to the public sewer network need to be undertaken.

Sludge Main

A pressurised pipe carrying treated or partially treated sewerage sludge.

Soak-away or drainage field

Buried pipes or aggregates that allow treated effluents or surface waters to disperse. They are owned and maintained by the property owner.

Surface water sewer

A sewer used only for the transport of uncontaminated surface water or rainwater in an area where separate sewerage systems have been provided. This may discharge safely to a local watercourse or may combine with the foul sewerage system (to form a combined sewer) for treatment with the foul flows.

Water service company

A provider of sewerage and possibly water services in an area.

REQUIREMENTS

Requirements to be met by persons carrying out works near to water mains and sewers.

1. The precise position of water mains and sewers must be ascertained by hand digging trial holes after first contacting South West Water, who will give such information as is available regarding the general location of the mains and sewer in the area. No liability is accepted for the accuracy of any information given as to the position or existence of water mains and sewers. In particular, service pipes and drainage connection are not generally shown on mains records, but their presence should be anticipated and precautions taken to avoid damage.
2. Notices of intent must be given to South West Water before any works are carried out in the vicinity, except in cases of emergency when our Operations Centre should be contacted as soon as possible.
3. Unless prior written approval has been obtained, mechanical excavation may not be permitted around, or within, **3 meters** of the water main or sewer. Excavation may be necessary by hand.
4. Concrete haunches or surrounds to sewers must not be disturbed without prior written consent from South West Water.
5. Before backfilling, the mains and sewers will be inspected and any flaws or damage to the pipe or wrapping, if found, will be repaired by South West Water. All such flaws or damage must be immediately reported to the Company as soon as they are discovered. The carrying out of such repairs by South West Water shall not affect the question of liability, should any damage found to have resulted from the acts of those undertaking the works, their contractors, servants or agents.
6. Approved backfill will be used immediately around or over the mains and sewers to a minimum cover of 300mm and the remainder of the backfill shall be to the appropriate Highways Authority Specification for the Reinstatement of Openings in Highways.
7. Both the existing main or sewer and the new works shall be suitably supported to prevent future settlement and any subsequent damage to equipment.
8. Ground adjacent to concrete thrust blocks supporting the main(s) and sewer(s) must not be disturbed.
9. Adequate support must be given to all water mains and sewers where these are likely to be undermined, and to all trenches in the vicinity of these, during the process of the works.
10. **No apparatus** shall be laid on or over any land **within 300mm** measured horizontally from any part of a water main or sewer or other apparatus belonging to the Company. Provided always that this cause shall not prevent any pipe, cable or conducting medium being laid at an angle of between 45 and 90 degrees across the line of the Company's apparatus, with a vertical clearance in excess of **300mm**. In exceptional circumstances this clause may be varied or deleted with the prior written consent from South West Water.
11. **South West Water must be consulted before** any work representing an increased risk to the integrity of the mains or sewers (e.g., piling, using explosives, thrust boring, pipe bursting etc.) is carried out.
12. Facilities for inspecting all work carried out shall be given to South West Water with adequate notice.

DEVELOPMENT & TREE PLANTING

Development and Tree Planting adjacent to pipelines: Guidance for landowners

In accordance with the provisions of Clause 26 of South West Water's Code of Practice, you are advised that in order to maintain adequate future access to the pipeline and to avoid interference with it, it is necessary to ensure that the following guidelines are observed:

1. Buildings And Permanent Structures

Clear working strip:

A clear working strip along the pipe is required between buildings and permanent structures and this must be:-

Pipes up to 150mm diameter	6.0 metres
Pipes 151-600mm diameter	7.0 metres
Pipes 601mm diameter and over	9.0 metres

If a building or permanent structure is planned within these limits please contact our Development Planning team as Build Over consent may be required. Development Planning: developerservices@southwestwater.co.uk

Proximity of buildings:

No buildings or permanent structures should be placed within 3 metres of pipes below 300mm in diameter or within 3.5 metres of pipes of 300mm or over in diameter (distances measured from the centre of the pipe), and in addition, buildings and permanent structures must be constructed so as to ensure that no additional loads are transmitted to the pipe.

(N.B: Pipe sizes refer to the internal diameter / bore of the pipe).

2. Trees And Shrubs

Roots can damage pipelines over time and extensive root systems will limit access to the pipeline in breach of the Company's right to access for repair or replacement. As a rule of thumb, the root spread of a tree is approximately the same as its eventual canopy spread. To help you avoid damage or interference to the pipeline, the Company suggests the following guidelines:

- No large or forest trees should be planted with 7 metres of the pipeline (examples include Oak, Ash, Beech, Douglas Fir, Sitka Spruce etc.)
- Medium to small sized trees should always be planted in such a way as to ensure that the eventual root spread reaches no closer than 1 metre of the pipeline, in practice, if trees are planted a distance of 5 metres away from the pipeline, this should be sufficient.
- Bushes and shrubs should never be planted closer than 2 metres from the pipeline. Closer than 2 metres either side of the pipeline may be planted with hedge plants and ground cover only.

The measurements and distances set out are for guidance only and there will always be exception, for example: Poplars and Willows, which have a particularly invasive root system. If you are unsure of any individual case, then specialist advice should always be sought prior to planting.

The guidelines set out above are based on the Company's standard access requirements for its apparatus. If, for engineering reasons, the distances set out need to be varied at particular locations, you will be advised of this before compensation for works is finalised. If you need to know the precise underground location of a new water main / sewer after its installation, please contact any of the Company's local offices, and Company staff will be pleased to mark out the position of the pipeline within your land.

If the Company finds any infringement of its legal rights of access, or any damage being caused to the pipeline, the Company reserves the right to take appropriate action to ensure that there is no interference with its statutory apparatus.

**IN THE EVENT OF A LEAK OR PIPE COLLAPSE PLEASE CONTACT SOUTH WEST WATER
IMMEDIATELY ON 0344 346 2020 (24 HOURS)**

South West Water Limited T/A Source for Searches Terms & Conditions for Commercial CON29DW Enquiry

1 Introduction

1.1 These Terms set out the terms which will apply in respect of any Orders You place with us for a (i) Report (as defined in clause 2.1 below)
1.2 These Terms may need to be amended from time to time and have a publication date which will be updated when any changes are made. Every time You wish to place an Order, please check these Terms to ensure You understand the terms which apply at that time, as they may have changed since any earlier order You may have placed.
1.3 If You do not accept these Terms You must not place any Orders with us.
1.4 If You are trading as a business, it is also Your responsibility to ensure that prior to placing an Order on behalf of a Client, that You make Your Client aware of the Terms, and that they accept them

2 Interpretations & Definitions

2.1 In addition to any defined terms, the following words shall have the following meanings:
a 'Commercial Property' means the address(es) or location(s) of a commercial property provided by You when You place an Order.
b 'Report' means the report known as the "Commercial CON29DW" prepared by us providing drainage and water information in relation to a Commercial Property.
c 'Client' means the person, company or body (including where required, their mortgage lender) for whom You have agreed to supply one or more Reports in the normal course of Your business.
d 'Map' means any Ordnance Survey map (and any data contained therein) provided as part of the Services.
e 'Order' means any request for a Report made by You to us.
f 'Terms' means these terms and conditions for Commercial CON29DW enquiries and General Terms means any general commercial terms in effect between You and Us.
g 'You' and 'Your' means the person, firm or company requesting the provision of property-related and company search information and reports from us.
h 'We', 'Our' and 'Us' means South West Water Limited T/A Source for Searches, being a company registered in England and Wales with company number 0236665, and whose registered office address is at South West Water Limited T/A Source for Searches, Peninsula House, Rydon Lane, Exeter, EX2 7HR, and whose principal place of trading is at South West Water Limited, Peninsula House, Rydon Lane, Exeter, EX2 7HR
i 'Website' means www.sourceforsearches.co.uk
j 'Services' means the provision of a Report.

3 Placing Orders and our Agreement

3.1 Your Order constitutes an offer by You to purchase Report(s) from Us.
3.2 When You place an Order, You will receive an e-mail from us acknowledging that we have received Your Order but this does not mean we have accepted Your Order.
3.3 We may choose not to accept Your Order, but on the rare occasion that this may occur, we will aim to notify You within 5 working days. For the avoidance of doubt, no contract will exist between Us until we have expressly accepted Your Order.

4 Cancellation rights

As a consumer
4.1 Where You are an individual consumer (and not acting for purposes wholly or mainly relating to Your trade, business, craft or profession), You have specific legal rights relating to cancellation of any Order You may place. You may cancel Your Order at any time within 14 days after the day on which the contract is entered into ("Cancellation Period")
4.2 To exercise the right to cancel, You must tell us of Your decision to cancel this contract by a clear statement.
4.3 Where You are ordering a Report as a consumer, due to Your cancellation rights, we will not process Your Order or provide the Report to You before the end of the Cancellation Period unless You provide Your express consent and You acknowledge that You will lose the right to cancel the contract under regulation 28(1) of the Consumer Contracts (Information, Cancellation, and Additional Charges) Regulation 2013.
4.4 In addition to these rights, where we are able to, we will cancel any Order in accordance with our cancellation policy, which can be found on our Website.
As a Business
4.5 The Cancellation Period does not apply to Your Order if You are placing the Order wholly or mainly for purposes relating to Your trade, business, craft or profession.
4.6 If You cancel Your Order other than in accordance with this clause You may be liable for fees as detailed in our cancellation policy at: www.sourceforsearches.co.uk

5 The Report

5.1 We will prepare the Report using the Commercial Property details You provide at the time You place Your Order. The Report You receive will rely on the accuracy, completeness and legibility of the address and/or plans You supply with Your Order.
5.2 The Report is produced only for use in relation to Commercial Properties, development or land which require the provision of drainage and water information and cannot be used for residential properties, development of land or any property to be developed as a single, residential, domestic property. Where You require a report for a residential property, You can order a different report from us, and different terms shall apply.
5.3 The Report provides information as to the indicative location and connection status of existing services and other information relating to drainage and water enquiries and should not be relied on for any other purpose (including the potential and/or suitability for any other connections to be made to existing services).
5.4 As You may expect, the information contained in the Report can change on a regular basis so we cannot be responsible to You or if You are trading as a business to Your Client for any change in the information contained in the Report after the date on which the Report was produced (as shown in the Report).
5.5 The Report does not give details about the actual state or condition of the Commercial Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Commercial Property for any particular purpose, or be relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.
5.6 We will send the Report to the address You have provided in Your Order, including email address for online Orders.
5.7 You agree only to use the Report for the purpose for which it is supplied in accordance with these Terms.
5.8 Where we accept Your Order:
a. we will provide the Services with reasonable skill and care; and
b. Your Order will be fulfilled within a reasonable period.
5.9 In providing the Report, we will comply with all laws and regulations which apply to the provision of the Report including ensuring that we have all the necessary licences and permissions, including intellectual property rights to provide the Report.

5.10 It is Your responsibility to ensure that Your Order, and the Report meet Your requirements if You are trading as a business the requirements of Your Client.
5.11 In providing You with this Report, we will comply with the Drainage & Water Searches Network (DWSN) Standards.

6 Disclaimers with regard to the Reports

6.1 The position and depth of apparatus shown on any maps attached to the Report are approximate, and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made in the vicinity of The Company's apparatus. Please be aware of specific disclaimers included in the Maps.

7 Intellectual Property Rights

7.1 The Report You receive is confidential and is intended for (a) Your own internal or personal purposes and/or (b) where You are trading as a business, the personal use of Your Client. The Report shall not be used or copied (in whole or in part) for any other use whatsoever, whether for commercial gain or otherwise.
7.2 We grant You a non-exclusive and non-transferable licence:
a to make copies of the Reports (except the Map) for Your own internal purposes;
b to incorporate the Reports (other than the Map) into any written advice You provide in the normal course of Your business; and
c to disclose the Reports, where You are trading as a business, in the normal course of Your business to:
i Your Client; and/or
ii anyone who is acquiring or considering acquiring an interest in or charge over the property to which the Report relates, and their professional advisers.
7.3 You must not alter any part of the Report including altering, removing or obscuring any logos and/or branding which is contained in a Report.
7.4 All intellectual property rights, including trademarks, domain names and copyright in the Reports are owned by us and/or our licensors.
7.5 Any Maps contained in any Report are protected by Crown Copyright. The Maps must not be used for any purpose other than as part of the Report. Neither You nor anyone You provide the Report to may reproduce the Maps without paying for a separate licence from Ordnance Survey.
7.6 No intellectual or other property rights are transferred or licensed to You or where You are trading as a business to Your Client or any other person except to the extent set out in these terms.
7.7 You agree to compensate us against any losses, costs, claims, damages and/or expenses which we incur and/or suffer as a result of any breach of any intellectual property rights or obligations (set out in any of the Terms) by You, or where You are trading as a business to Your Client or any party to whom You provide a copy of the Report.

8 Additional Intellectual Property Right Provisions

8.1 The enquiries in the Report are protected by copyright by the Law Society of 113 Chancery Lane, London WC2A 1PL and must not be used for any purpose which is not expressly set out in these Terms.
8.2 The answers and information in the Report are protected by copyright by South West Water Limited T/A Source for Searches

9 Liability

9.1 This paragraph sets out the exclusions to and limitations on our liability to You and if You are trading as a business to Your Client.
9.2 We will not be liable to You (and/or if You are trading as a business to Your Client) in contract, tort, negligence, breach of statutory duty, misrepresentation or otherwise:
a if we do not accept Your Order;
b for any inaccuracies, mistakes or omissions in the Reports unless any such liability arises as a direct consequence of our negligence.
9.3 Notwithstanding the above, nothing affects any party's liability for (a) death or personal injury arising from its negligence, (b) liability for fraud or fraudulent misrepresentation and / or (c) any other liability which cannot be excluded or limited under applicable law.

10 Additional Provision relating to our Liability to You for the Report

10.1 Subject to clause 9.3, our total liability to You and/or if You are trading as a business to Your Client, whether for breach of contract, tort, negligence, breach of statutory duty, misrepresentation or otherwise, arising under or in connection with these Terms and/or the provision of a Report limited to 10 million pounds (£10,000,000) in aggregate.

11 Customer Complaints Procedure

11.1 South West Water T/A Source for Searches offer a robust complaints procedure which can be found on our Website or here: www.sourceforsearches.co.uk
11.2 If your complaint has gone through our complaints procedure and you are dissatisfied with the response or it has exceeded our response timescales, you may refer your complaint for consideration under The Property Ombudsman Scheme (TPOS). You can obtain further information by visiting www.tpos.co.uk or email admin@tpos.co.uk. The Ombudsman can award compensation up to a maximum of £25,000.
In addition to the TPO redress scheme covering consumers, TPO will also provide redress for small businesses (including Charities and Trusts) that meet the following criteria:
- a small business (or group of companies) with an annual turnover of less than £3 million;
- a charity with an annual income of less than £3 million;
- a Trust with a net asset value of less than £3 million.

12 General

12.1 These Terms (and any General Terms or other documents referred to herein) are the only terms and conditions that shall apply to any Order and the provision of a Report by us to You and shall constitute the entire agreement between You and us and supersede, replace and extinguish any previous arrangement, understanding or agreement between us relating to such Report.
12.2 Any dispute or claim arising out of or in connection with these terms and/or their subject matter or formation (including non-contractual disputes or claims) shall be governed by the laws of England and Wales. Any dispute (including any non-contractual disputes or claims) shall be subject to the exclusive jurisdiction of the courts of England and Wales.
12.3 If there is any conflict or inconsistency between the provisions of these Terms and any other General Terms, the provisions of these Terms shall prevail.
12.4 In the event of any conflict or inconsistency between any information on the Website describing the features of the Report and these Terms, then these Terms shall prevail.
12.5 Where You are acting wholly or mainly in the normal course of Your trade, business, craft or profession Your Client is entitled to the benefit of these Terms. Save as provided in this clause
12.6, it is not intended that any other person who is not a party to these Terms has any right to enforce any term of these Terms under the Contracts (Rights of Third Parties) Act 1999

Version date: June 2024

CONTACT US

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Contact South West Water:

Accounts helpline: 0344 346 1010
Services helpline: 0344 346 2020

Registered in England No: 2366665

These are the notes referred to on the following official copy

Title Number CL179737

The electronic official copy of the document follows this message.

This copy may not be the same size as the original.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

H.M. LAND REGISTRY



CL178044

Land Registration Act 1925-1998



SEQ37

County and District : Cornwall - Caradon
Title Number : CL46018 CL49766 CL135291 CL30879 and CL143451
Property : Land at Pillmere Saltash shown edged and shaded red on the Plan
Date : 2 May 2000

1. In this Deed the following words and phrases shall have the following meanings:-

"Baker" M Baker (Property Services) Limited whose registered office is at
Baring House 6 Baring Crescent Exeter Devon EX1 1TL

"Baker's Land" the remainder of the land comprised in title number CL49766

"Barratt" Barratt Homes Limited registered in England and Wales under
Company number 3108173 whose registered office is situate at
Wingrove House Ponteland Road Newcastle upon Tyne NE5 3DP

"the Black Land" means the land edged black on the Location Plan

"the Blue Land" means the land edged blue on the Location Plan registered at H M
Land Registry under title number CL 135291

"the Builders" Persimmon, Wimpey and Barratt

"the Builders Land" means the land edged and shaded red on the Plan

“Cofton”	Cofton Limited Company registered in England and Wales under company number 2064506 whose registered office is situate at Cofton House Firwood Road Garretts Green Birmingham B33 0ST
“the Cofton Land”	so much of the land shown edged and shaded blue on the Plan together with the P.O S and the Roads as does not comprise the Builders Land
“Conducting Media”	all pipes wires drains and conduits for the conveyance of water gas electricity telephone services and any other services which may be required to and from the Builders Land (including where the context so requires or admits the Sewers)
“Location Plan”	the plan annexed marked Location Plan
“the Green Land”	means that part of title number CL 49766 shown edged green on the Location Plan
“Persimmon”	Persimmon Homes (South West) Limited registered in England and Wales under Company number 929585 whose registered office is situate at Persimmon House Fulford York YO1 4RL
“the Perpetuity Period”	a period of 80 years from the date hereof which shall be the perpetuity period applicable to this Deed
“the Plan”	the plan annexed hereto

“the P.O.S”	the public open space shown edged and shaded green on the Plan
“the Purchase Contract”	contract for sale and purchase dated 11 February 2000 made between Cofton Limited (1) Persimmon Homes (South West) Limited (2) Wimpey Homes Holdings Limited (3) Barratt Homes Limited (4)
“the Roads”	the roads (including footpaths and roundabout forming part thereof) and forming the principal means of access to the Builders Land shown coloured yellow on the Plan
“Roadway Land”	that part of the Baker Land more particularly described and edged red on the Roadway Plan
“Roadway Plan”	the Plan annexed marked Roadway Plan
“the Sewers”	the foul sewers and surface water sewers constructed or to be constructed by Cofton on the Cofton Land to serve proposed development on the Builders Land connecting to adopted outfalls
“Wimpey”	Wimpey Homes Holdings Limited registered in England and Wales under Company number 1392762 whose registered office is situate at 3 Shortlands London W6 8EZ

2.1 Cofton with full title guarantee grants to Persimmon Wimpey and Barratt for the benefit of the Builders Land respectively the rights set out in the First Schedule over the Cofton Land.

2.2 Wimpey Persimmon and Barratt with full title guarantee grant to Cofton for the benefit of the Cofton Land the rights set out in Schedule Two

2.3 Cofton Persimmon Wimpey and Barratt with full title guarantee grant to Baker the rights set out in Schedule Three

2.4 In consideration of the rights granted by clause 2.3 above Baker with full title guarantee grants to Cofton Permission Wimpey and Barratt the rights set out in Schedule Four] N

[IT IS HEREBY AGREED AND DECLARED THAT:-] P

3.1 The Builders in respect of the Builders Land and each and every part thereof hereby covenant with Cofton and its successors in title the owner and owners for the time being of the Cofton Land (and so as to benefit the Cofton Land and each and every part thereof into whosoever's hands the same may come) in the terms set out in the Fifth Schedule

[3.2 Rights of entry granted and easements set forth in this Deed shall be rights of entry for the parties on whom those rights are confirmed and their successors in title workmen and contractors and all persons authorised and with or without plant and machinery and shall include the right where necessary to break open the surface of the Cofton Land

3.3 In so far as the rights hereby granted over those parts of the Roads and/or Conducting Media outside the Property are not capable of taking effect as grants they shall take effect as the assignment of the similar rights previously reserved in favour (inter alia) of the Cofton Land, the Builders Land and the Baker's Land] R

4 Cofton for itself and its successors and title the owner or owners for the time being of the Cofton Land and each and every part thereof hereby covenants with each of Persimmon, Wimpey and Barratt and their respective successors in title the owner and owners for the time being of the Builders Land (and so as to benefit the same and each and every part thereof into whosoever hands the same may come) in the terms set out in the Sixth Schedule

5.1 Cofton hereby covenant with the Builders not to sell or otherwise dispose of the Cofton Land without the prior written consent of the Transferee such consent not to be withheld:-

5.1.1 in respect of any areas of POS to be transferred to the local authority or management company in accordance with the provisions of the purchase contract

5.1.2 in respect of any part of the Cofton Land set aside or used for social housing when all monies due from Cofton to the Builders under the Purchase Contract have been determined and paid and the Builders Option to acquire the land for social housing has determined] ✓

5.2 Cofton and the Builders hereby apply to the Chief Land Registrar to enter the following restriction against the title to the Cofton Land:-

"Except under an order of the Registrar of the Court no disposition of the land comprised in this title or any interest in it (including a mortgage or charge) shall be registered unless the

same is accompanied by a certificate by the solicitor to Barratt Homes Limited, Persimmon Homes (South West) Limited and Wimpey Homes Holdings Limited consenting to such disposition”

5.3 The Builders will release such restriction as follows:-

5.3.1 to consent to the transfer of any areas of POS to the local authority or a Management Company as aforesaid

5.3.2 in respect of any part of the Cofton Land set aside or used for social housing when all monies due from Cofton to the Builders under the Purchase Contract have been determined and paid and the Transferees Option to acquire the land for social housing has determined

6.1 Baker covenants with Cofton and the Builders that it shall and shall use reasonable endeavours to procure that its mortgagee (if any) will at the request and the cost of the Builders and/or Cofton enter into such agreements under Section 38 of the Highways Act 1980, Section 104 of the Water Industry Act 1991 and any other agreements or obligations required to be entered into for the purpose of permitting the adoption of or dedication of the roads and/ or any sewers now or within 5 years of the date hereof to be constructed upon or under the Roadway Land pursuant to the rights set out in Schedule 4 of this Deed provided always that:-

6.1.1 Baker enters into such an agreement in their capacity as landowner only

6.1.2 such an agreement shall be in such a form as shall be reasonable in all the circumstances

6.1.3 the Builders and Cofton acknowledge that if they ask Baker to enter into such an agreement then they shall indemnify Baker against all positive obligations (excluding dedication) under such agreement

6.2 Baker covenants with the Builders and Cofton not to dispose of the Roadway Land (except by way of disposal of individual dwelling or dwellings or land for use as public open space or the site of a gas governor station or electricity sub station) unless Baker has first procured that the disponent covenants by way of deed with the Builders and cofton to observe and perform the covenants contained in paragraph 6.1 above and this restrictive covenant and the parties hereto hereby apply to the Chief Land registrar at H M Land Registry to register the following restriction against the title to Baker Land:-

“Except under an order of the Registrar or of the Court no disposition of the Roadway Land other than a disposal of an individual dwelling or dwellings or land for use as public open space or the site of a gas govenor station or electricity sub station is to be registered unless the application to register the same is accompanied by a certificate from the disponent’s solicitor to the effect that the provisions of clause 6.2 of the Deed dated 2nd May 2000 made between Cofton Limited (1) Persimmon Homes (South West) Limited (2) Wimpey Homes Holding Limited (3) Barratt Homes Limited (4) M Baker (Property Services) Limited (5) have been complied with”

w
[7.1 Cofton, covenants with Baker to use all reasonable endeavours first to construct a road to adoptable standards from Callington Road to within 50 metres of the eastern edge of the Green Land within two years of the date hereof to be the subject of an agreement pursuant to Section 38 of the Highways Act 1980 and secondly Cofton shall and shall use all reasonable endeavours to procure that their respective mortgagees (if any) will at the request and cost of Baker enter into any such agreements

under Section 106 of the Town and Country Planning Act 1990, Section 104 of the Water Industry Act 1991 and Section 38 of the Highways Act 1980 and any other agreements or obligations required to be entered into lawful or imposed by any authority as are necessary to procure the grant of planning permission for the development of Bakers Land or any part thereof provided always that the Builders and/or Cofton shall enter into such an agreement in their capacity as owner of the affected land

Such an agreement shall be in such a form as shall be reasonable in all the circumstances

Such an agreement shall stipulate that Cofton and the Builders shall not be liable for any breach of the provisions of such an agreement occurring after they have parted with their respective interests in the affected land or the part in respect of which such breach occurs

Baker agrees that if it asks the Builders or Cofton to comply with the above covenants that it shall indemnify the Builders and/or Cofton in respect of the positive covenants (excluding dedication) referred to in such agreements

- 7.2 Cofton covenant with Baker not to dispose of the Blue Land, the Green Land or the Black Land (except by way of disposal of individual dwelling or dwellings or land for use as public open space or the site of a gas governor station or electricity sub station) unless they shall have first procured that the disponee covenants by way of deed with Baker to observe and perform the positive covenants contained in clause 7.1 above and this restrictive covenant and the parties hereby apply to the Chief Land Registrar at H M Land Registry to register the following restrictions against the title to the Cofton Land.

“except under an order of the Registrar or the Court no disposition of the Blue Land, the Green Land or the Black Land other than a disposition of an individual dwelling or dwellings or land for use as public open space or the site of as gas governor station or

electricity sub station is to be registered unless the application to register the same is accompanied by a certificate from the disponee's solicitor to the effect that the provisions of clause 7.2 of the Deed dated 2 May 2000 2000 made between Cofton Limited (1) Persimmon Homes (South West) Limited (2) Wimpey Homes Holdings Limited (3) Barratt Homes Limited (4) M Baker (Property Services) Limited (5) have been complied with.

8. It is hereby agreed and declared that: } Z

8.1 The Builders and their successors in title shall not by virtue of this deed or any transfer in connection thereto acquire any rights of light or air or other rights or easements which would prejudice the free use and enjoyment of any adjoining land for building or any other purpose and that the enjoyment of light or air has by the Builder or its successors in title from or over any adjoining land shall be deemed to be had by the revocable consent (hereby given) of Cofton and its successors in title

8.2 Nothing in this deed shall be deemed to create a building scheme } BB

S [SCHEDULE ONE

1. Full and free passage of sewage gas electricity telephone television sound and similar services from and to the Builders Land (in this Schedule One called "the Property") and any existing or future buildings thereupon through and along the appropriate existing Conducting Media and those constructed or laid within the Perpetuity Period in or over or under the Cofton Land ("the Servient Land") to benefit the Property subject (where applicable) to the payment of a fair and reasonable contribution towards the costs of inspecting testing cleaning maintaining repairing and renewing such Conducting Media until the same shall have been adopted as maintainable at the public expense
2. Full right and liberty to enter upon such parts of the Cofton Land as may from time to time be necessary for the purposes of constructing laying connecting with inspecting testing

cleaning maintaining repairing altering renewing any existing Conducting Media and any constructed or otherwise coming into existence during the Perpetuity Period but not so as to confer any right to enter upon any land lawfully occupied by any building and subject to the person exercising any such rights making good any damage so caused as soon as reasonably practicable.

3. Full right and liberty at all times and for all purposes to pass and repass with or without vehicles over the Roads and on foot only over their attendant footpaths constructed within the Perpetuity Period for all purposes connected with the beneficial development use and enjoyment of the Property subject to the persons exercising any such rights making good any damage so caused as soon as reasonably practicable and subject (where applicable) to those persons paying a fair and reasonable contribution towards the cost of inspecting testing cleaning maintaining repairing and renewing the Roads and their attendant footpaths until the same shall have been adopted as highways maintainable at the public expense or until completion of the sale of the last dwelling to be constructed by Wimpey, Persimmon and Barratt on the Property whichever shall be earlier
4. A right of support for the Property and any buildings and structures now existing or constructed thereon within the Perpetuity Period
5. A right of access at reasonable times and upon reasonable notice (except in the case of emergency) to the land shown coloured yellow on the Plan for the purpose of constructing and maintaining the Roads and/or Sewers in the event of default on the part of Cofton in so doing

- 6 The right of entry at all times onto the Cofton Land (pending completion of the Works hereinafter referred to) to carry out works in default of Cofton in accordance with an Agreement (referred to as a Stakeholder Agreement) of even date herewith and made between Messrs Putsmans (1) Cofton (2) The Builders (3) and thereafter to keep and maintain such Works on the Cofton Land as may be necessary to fulfill the requirements of a planning agreement or planning permission

SCHEDULE TWO

1. A right of support for the Cofton Land and any embankments buildings and structures now existing or constructed within the Perpetuity Period.
- 2 The right (insofar as necessary) to enter upon the Property with or without workmen machines and materials for the purpose of constructing the Roads and Sewers and the right to regrade the Property adjacent to the Road where the same are constructed at a level different from the Property PROVIDED THAT the gradient of such regraded land shall not be steeper than 1 in 4 and the surface thereof shall be properly levelled and be covered with a layer of topsoil not less than six inches deep and PROVIDED FURTHER that this right shall be exercised only before the Builders commence development as defined by section 55 of the Town and Country Planning Act 1990

SCHEDULE THREE

- 1 As incident to the ownership occupation or development of the Bakers Land the right to enter at all times upon the Builders Land and the Cofton Land (in this Schedule Three called "the Property") or any part thereof upon giving 48 hours prior notice (except in

emergencies) for the purpose of laying therein and thereunder sewers drains pipes watercourses water and gas mains electricity and telephone and fibre optic cables and other service conduits in such positions as shall have been agreed with Barratt Cofton Persimmon or Wimpey (whichever is appropriate) (such agreement not to be unreasonably withheld or delayed) and to connect with use and maintain repair and renew the same and also the right to the free running of water soil gas electricity and other services from and to the Bakers Land through the sewers drains pipes mains watercourses cables and other services conduits now laid or hereafter during the Perpetuity Period to be made or laid in and under the Property or any part thereof giving 48 hours notice (except in the case of emergency) for the purpose of connection with inspecting repairing maintaining cleansing renewing any pipes drains cables wires or other services serving the Bakers Land PROVIDED THAT the person or persons exercising such right shall:-

Only enter upon such part of the Property as is reasonably necessary and has been agreed by the Builders or Cofton (whichever is appropriate) (such agreement not to be unreasonably withheld)

Not lay any sewers drains or other service conduits or connections to any existing sewers drains or service conduits under a building

Cause as little inconvenience as is reasonably possible to the Builders or Cofton (whichever is appropriate) and shall not hinder delay or obstruct the construction or adoption of any conducting media on the Property

Act with due diligence and cause as little damage as is reasonably possible to the Property

Forthwith as its or their own expense make good any damage caused by the exercise of such rights to the reasonable satisfaction of the Builders or Cofton (whichever is appropriate) indemnify the same against all liabilities arising out of the exercise of this right.

2. As incident to the ownership occupation or development of Bakers Land the right to enter at all times upon the Green Land, The Blue Land and the Black Land or any part thereof upon giving 48 hours prior notice (except in emergencies) for the purpose of constructing (subject to Baker having obtained all necessary approvals and consents from the Local Planning Authority and Highway Authority) roadways, junctions footpaths cyclepaths visibility splays and other things necessary to connect the Bakers Land to the roads and footpaths now constructed or is to be constructed during the perpetuity period on the Cofton Land or the Builders Land (excluding connection to individual dwelling houses) ("the Estate Roads") together with the right of way on foot and by vehicle over such works and the Estate Roads at all times and for all purposes in connection with the use of the Bakers Land provided that the person exercising such rights shall. -

Only enter upon such part of the property as is reasonably necessary and has been agreed by the Builders or Cofton (Whichever is appropriate) (such agreement not to be unreasonably withheld)

Cause as little inconvenience as is reasonably possible to the Builders or Cofton (whichever is appropriate) and shall not hinder delay or obstruct the construction or adoption of any Estate Road on the Builders Land or Cofton Land.

Act with due diligence and cause as little damage as is reasonably possible to Builders Land or the Cofton Land

Forthwith at its own or their own expense make good any damage caused by the exercise of such rights to the reasonable satisfaction of the Builders or Cofton (whichever is appropriate) and to indemnify them against all liabilities arising out of the exercise of this right.

3. The right to subjacent and sub-lateral support by or from the Green Land for Bakers Land

SCHEDULE FOUR

1. As incident to the ownership occupation or development of the Builders Land and the Cofton Land (in this Schedule Four called "the Property") the right to enter at all times within the period of five years from the date hereof upon that part of the Baker's retained land shown edged red on the Roadway Plan ("the Roadway Land") for the construction of any roadway footpath roundabout cycleway visibility splay roadside verges or embankments or other associated road works reasonably necessary to gain access to and develop the Property ("the Road Works) and for the purpose of laying therein and thereunder sewers drains pipes watercourses water and gas mains electricity and telephone and fibre optic cables and other service conduits and thereafter the right (without limitation as to time) to use and maintain repair and renew the same and also the right to the free running of water soil gas electricity and other services from and to the Cofton Land and the Builders Land through the sewers drains pipes watercourses cables and other service conduits now made laid or hereafter during the period of five years from the date hereof to be made or laid in and under the Roadway Land or any part thereof PROVIDED THAT the person or persons exercising such right shall:

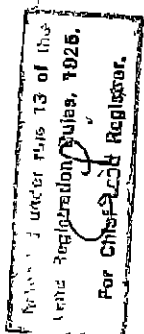
Only enter upon such part of the Roadway Land as is reasonably necessary and has been agreed by Baker (such agreement not to be unreasonably withheld)

Not lay any sewers drains or other services conduits or connections to any existing sewers drains or service conduits under a building or a proposed building (which shall mean a building for which planning permission has been granted)

Cause as little inconvenience as is reasonably possible to Baker and shall not hinder delay or obstruct the construction or adoption of any conducting media or road works on the Roadway Land

Act with due diligence and cause as little damage as reasonably possible to the Roadway Land

Forthwith as its own or their own expense make good any damage caused by the exercise of such rights to the reasonable satisfaction of Baker and to indemnify Baker against all liabilities arising out of the exercise of this right



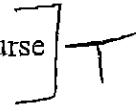
- 1.2. As incident to the ownership occupation or development of the Property during the period of five years from today's date a right of way for all purposes connected with the development of the Builders Land and the Cofton Land over that part of Brunel Road within the Baker's Land together with the right of access to the Property at a point approved by the Local Planning Authority (if necessary) between the points marked A and B on the Roadway Plan Provided that the person or persons exercising such rights shall:

Cause as little inconvenience as is reasonably possible to Baker

Shall not obstruct Brunel Road

Forthwith at its own or their own expense make good any damage caused by the exercise of such rights to the reasonable satisfaction of Baker and to indemnify Baker against all liabilities arising out of the exercise of this right

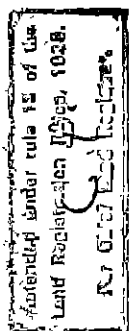
Cease exercising this right as soon as practicable after the completion of the new acces to the Property from Callington Road to base course



SCHEDULE FIVE

1. Not to use or permit to be used the Builder's Land or any part thereof or any buildings thereon other than for residential and ancillary purposes and no part of the Builder's Land as shall not be built upon shall be used otherwise than as private pleasure or garden grounds only in connection with the dwellings erected on the Builder's Land (except only for roads footpaths and public open space areas and any specific use arising from a residential planning permission and/or planning obligation under the Town and Country Planning Act 1990 to any relevant planning authority)
2. Not to do or permit or suffer to be done any act or thing on the Builder's Land which may be or become a nuisance or damage to Cofton or to the owners or occupiers of the adjoining land provided always that the development of the Builder's Land as a residential housing estate in accordance with normal housing industry practice shall not be a breach of this covenant

~~2. Not to do or permit or suffer to be done any act or thing on the Builder's Land which may be or become a nuisance or damage to Cofton or to the owners or occupiers of the adjoining land provided always that the development of the Builder's Land as a residential housing estate in accordance with normal housing industry practice shall not be a breach of this covenant~~



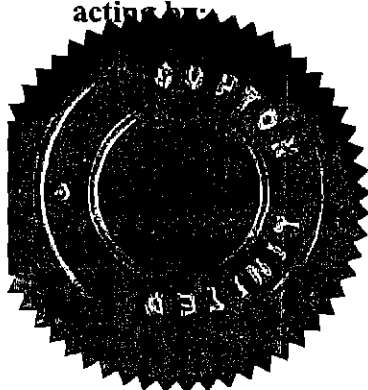
CC

SCHEDULE SIX

1. Not to use or permit to be used the Cofton Land or any part thereof or any buildings thereon other than for the purpose of residential development public open space land or a school site
2. Not to do or permit or suffer to be done any act or thing on the Cofton Land which may be or become and nuisance or damage to the Transferee or to the owners or occupiers of the Builder's Land save carrying out of Works

DD

Executed as a Deed by the said
COFTON LIMITED
acting by:-



Director

Deed Secretary

[Signature]
[Signature]

Executed as a Deed by the said
PERSIMMON HOMES (SOUTH WEST) LIMITED
acting by:-

Director

Secretary

Deed

[Signature]

[Signature]

acting by:-

Director

Secretary

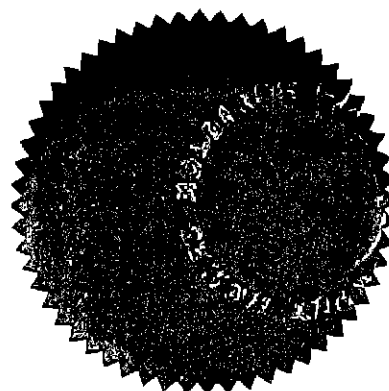
Executed as a Deed by the said

~~THE COMMON SEAL OF~~
WIMPEY HOMES HOLDING LIMITED

acting by:- was hereto ~~affixed~~
its presence in

Director

Secretary
Authorised
Signature



SW 000230

Executed as a Deed by the said

BARRATT HOMES LIMITED

acting by

Director

Director
Secretary

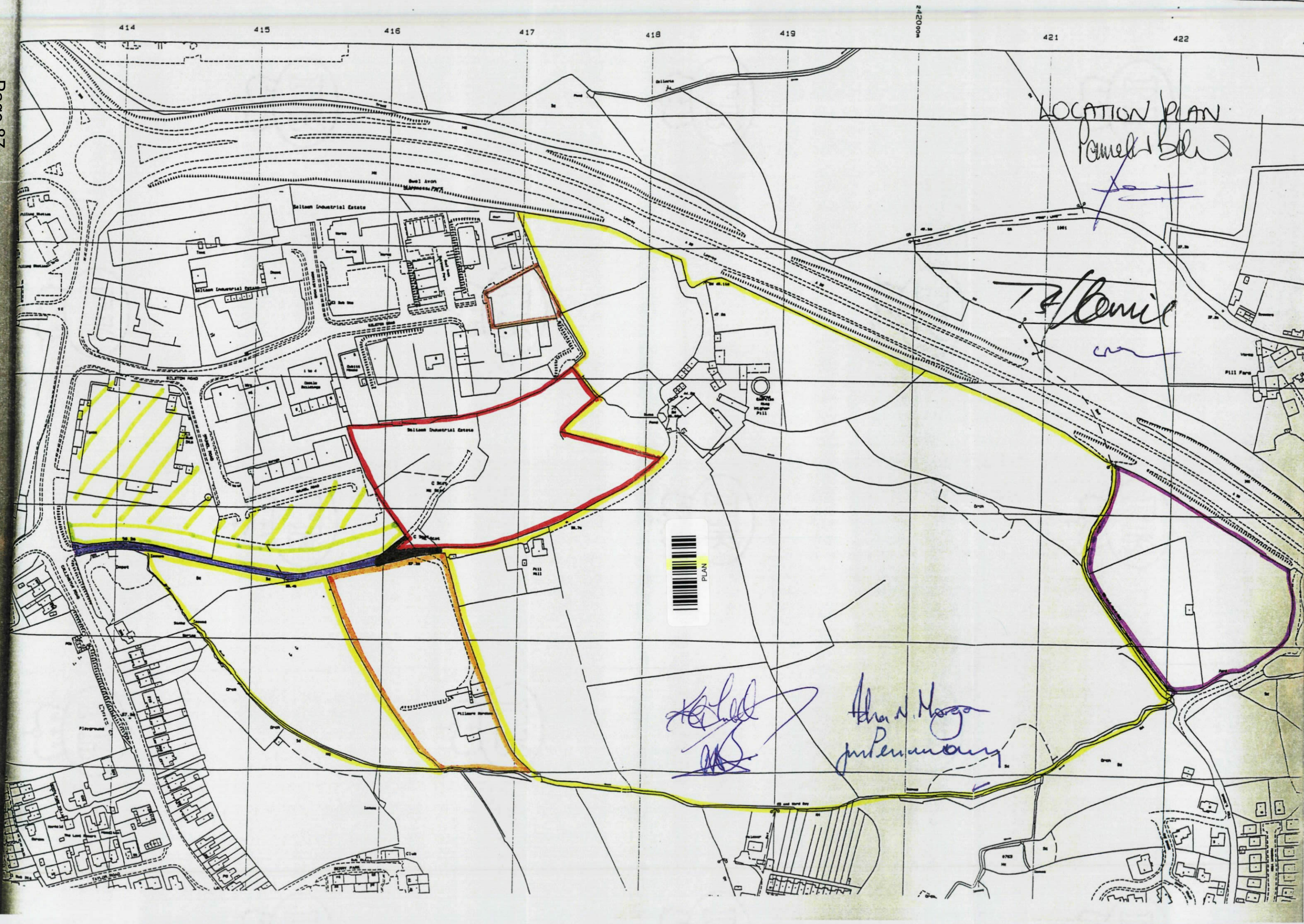
Executed as a Deed by the said

M BAKER (PROPERTY SERVICES) LIMITED

acting by

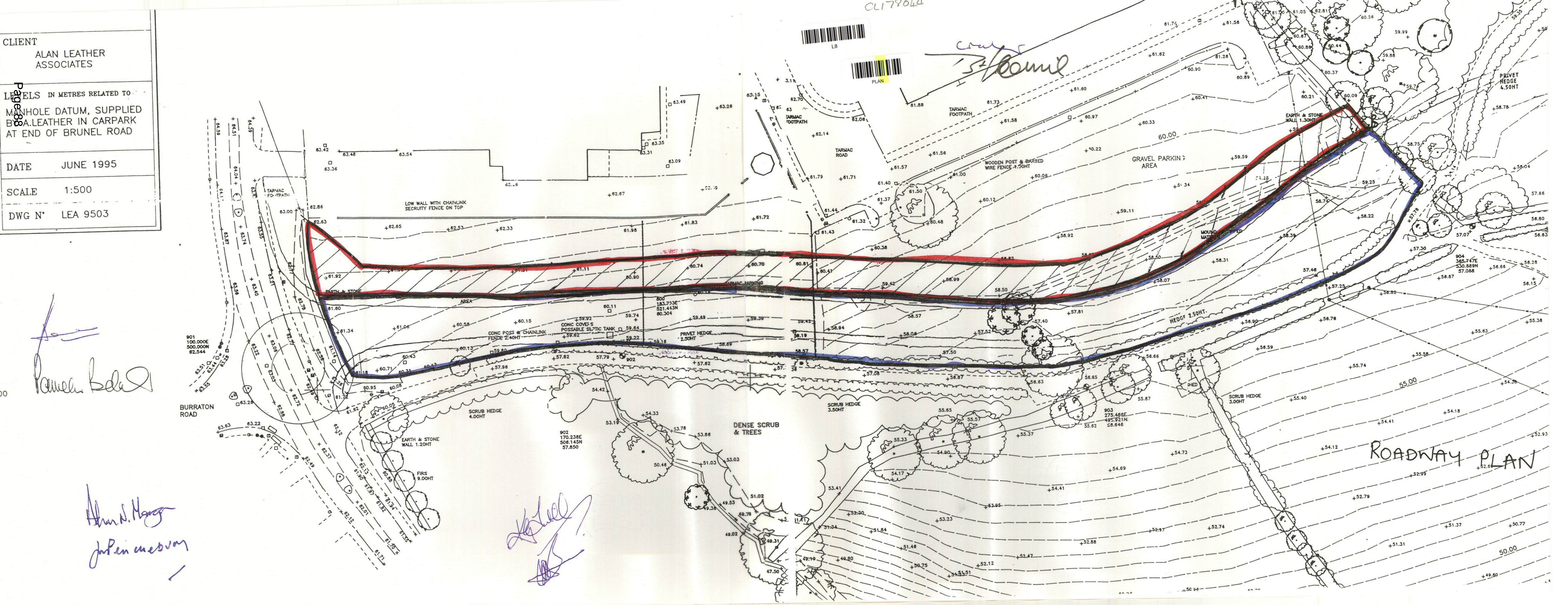
Director

Secretary



CLIENT	ALAN LEATHER ASSOCIATES
LEVELS IN METRES RELATED TO	MINIHOLE DATUM, SUPPLIED BY A. LEATHER IN CARPARK AT END OF BRUNEL ROAD
DATE	JUNE 1995
SCALE	1:500
DWG N°	LEA 9503

500





These are the notes referred to on the following official copy

Title Number CL179737

The electronic official copy of the document follows this message.

This copy may not be the same size as the original.

Please note that this is the only official copy we will issue. We will not issue a paper official copy.

THIS DEED is made the 30TH day of MAY 2001

- 249766
- (1) **M BAKER (PROPERTY SERVICES) LIMITED** (Company Number 1701350) whose registered office is situate at Baring House 6 Baring Crescent Exeter Devon EX1 1TL ("M Baker")
 - (2) **COFTON LIMITED** (Company Number 2064506) whose registered office is situate at Cofton House Firwood Road Garretts Green Birmingham B33 OST ("Cofton")
 - (3) **BARRATT HOMES LIMITED** (Company Number 3108173) whose registered office is situate at Wingrove House Ponteland Road Newcastle Upon Tyne NE5 3DP
PERSIMMON HOMES (SOUTH WEST) LIMITED (Company Number 929585) whose registered office is situate at Persimmon House Fulford York YO1 4RL
~~GEORGE WIMPEY U.K.~~
~~WIMPEY HOMES HOLDINGS~~ **LIMITED** (Company Number 1392762) whose registered office is at 3 Shortlands Road, London W6 8EZ ("the Builders")
 - (4) **THE GOVERNOR AND COMPANY OF THE BANK OF SCOTLAND** incorporated by Act of Parliament and having its head office at The Mount Edinburgh ("the Bank")

1. **Interpretation**

In this Deed the following words and phrases shall have the following meanings:-

"the Transfer" means the Transfer dated 2nd May 2000 made between M Baker

7

not noted -

(1) Westgrove Projects Limited (2) Jacqueline Mary Du Plessis
(3) Christopher Bernard Harrison and Jennifer Harrison (4) Derek John Batten and Muriel Hilda Batten (5) Cofton Limited
(6)

"the Deed of Covenant



CL49766



SEQ83

1

H:\CLIENTS\00041788\00000293\DOCS\20010215 HTR.MG.DEEEDOFVARIATION&COVENANT.BAKERCOFTON.1.DOC.

and Grant of Easements"

CL159783
CL49766
CL160160

means the Deed of Covenant and Grant of Easements dated 2nd May 2000 and made between M Baker (1) Barratt Homes Limited (2) Cofton (3) Persimmon Homes (South West) Limited (4) Wimpey Homes Holdings Limited (5)

"Baker Land"

means the land at Gilston Road Saltash contained in title number CL49766

"Cofton Land"

means the land at Pillmere Saltash contained in title number CL159783

"Joint Land"

means the land at Pillmere, Saltash contained in title number CL159734

"Builders Land"

means the land at Pillmere Saltash contained in title number CL160160

"Roadway Land"

means the land edged red on the plan annexed hereto and marked "Roadway Plan"

2. Recitals

2.1 By the Transfer M Baker transferred certain land at Pillmere Saltash to Cofton. The parties acknowledge that the boundary between the Baker Land and the Cofton Land was incorrectly delineated on the plans attached to the Transfer

2.2 By the Deed of Covenant and Grant of Easements the parties entered into covenants in favour of each other and M Baker granted certain rights for the benefit of the Builders Land, the Cofton Land and the Joint Land to Cofton and the Builders over part of the Baker Land. The parties have agreed to release certain of those covenants and rights in the manner hereinafter appearing

3. Variation Of The Transfer

3.1 M Baker and Cofton hereby agree that the definition of "Green Land" contained in the Transfer shall be varied to read as follows:-

referred to in AS of CL49766

"Green Land" means all that land registered with title absolute under title number CL49766 at Plymouth District Land Registry shown edged red on the New Plan the northern edge of which shall be more particularly delineated by the back edge of the roadway footpath constructed or to be constructed between the points A and C on the New Plan"

3.2 The parties further agree that there shall be deemed to have been inserted in the Transfer a plan in the form of the plan annexed to this Deed and marked "New Plan" and that there was inserted in the Transfer a definition of the "New Plan" in the following form:

"New Plan" means the plan annexed hereto and marked "New Plan"

plans?

3.3 Cofton and M Baker hereby apply to the Chief Land Registrar at HM Land Registry to rectify their respective titles to show the boundary between the Cofton Land and the Baker Land as described in the definition of "Green Land" set out above and the parties hereby covenant with each other that they shall if required by HM Land Registry enter into confirmatory transfers in favour of each other in order to procure the rectification of the boundary between the Cofton Land and the Baker Land

4 Variation Of The Deed Of Covenant And Grant Of Easements

4.1 Cofton the Builders and M Baker hereby agree that the Deed of Covenant and Grant of Easements shall be varied by substituting the plan annexed hereto and marked "Roadway Plan" for the plan annexed to the Deed of Covenant and Grant of Easements which is also marked "Roadway Plan"

4.2

CL159766

The Builders and Cofton hereby consent to the removal of the restriction contained in the register of the Baker Land at HM Land Registry imposed pursuant to clause 6.2 of the Deed of Covenant and Grant of Easements and the parties hereby apply to the Chief Land Registrar at HM Land Registry to register the following restriction against the title to the Baker Land:-

"Except under an order of the Registrar or of the Court no disposition of the Roadway Land (other than a disposal of an individual dwelling or dwellings or land for use as public space or the site of a gas governor station electricity sub station) is to be registered unless the application to register the same is accompanied by a certificate from the disponent's solicitors to the effect that the provisions of clause 6.2 of the Deed of Covenant and Grant of Easements dated 2nd May 2000 made between Cofton Limited (1) Persimmon Homes (South West) Limited (2) Wimpey Homes Holdings Limited (3) Barratt Homes Limited (4) M Baker (Property Services) Limited (5) have been complied with"

4.3

CL159783

release

CL159766

Cofton as the registered proprietors of the Cofton Land and the Builders as registered proprietors of the Builders Land and the Builders and Cofton together as registered proprietors of the Joint Land hereby release with full title guarantee the Baker Land from the rights contained and referred to in paragraph 2 of Schedule 4 (being the second of the two paragraphs contained in the said Schedule 4 but incorrectly numbered "1") of the Deed of Covenant and Grant of Easements

5

Further Covenants

5.1

Cofton hereby covenant with M Baker to carry out the following works to M Baker's reasonable satisfaction and complete the same within three months of the date hereof:

5.1.1 To kerb the back edge of the car park on the Baker Land at the top of bank between points A and B on the New Plan

5.1.2 To erect a new security fence on the outside of the new car park kerb referred to in Clause 5.1.1 above in accordance with the Specification attached hereto

5.1.3 In the event that M Baker have not commenced construction of a Cornish hedge/retaining wall below the said car park by the time that the works referred to in Clause 5.1.1 and 5.1.2 are carried out then Cofton shall rake back the bank between the back edge of the roadway footpath and the line of the new fence erected in accordance with Clause 5.1.2 above.

6 Bank's Consent

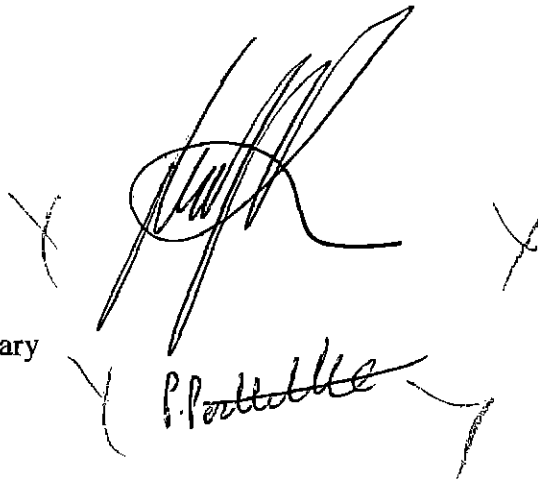
The Bank enters into this Deed as mortgagee of the Cofton Land for the purpose of consenting to the terms of this Deed in so far as it affects the Cofton Land

IN WITNESS WHEREOF this Deed is executed by the parties hereto the day and year first above written

Executed as a Deed by
COFTON LIMITED
acting by:-

Director

Director/Secretary



Executed as a Deed by
**M BAKER (PROPERTY SERVICES)
LIMITED**
Acting by:-

Director

Director/Secretary

Shah
Executed as a Deed by on behalf of
BARRATT HOMES LIMITED in exercise of the powers conferred on them
by a Power of Attorney made 18 January 2001
in the presence of

~~Director~~

Director/Secretary

Executed as a Deed by
**PERSIMMON HOMES
(SOUTH WEST) LIMITED**
Acting by:-

Director

Director/Secretary

The Common Seal of
Executed as a Deed by

~~**WIMPEY HOMES LIMITED**~~

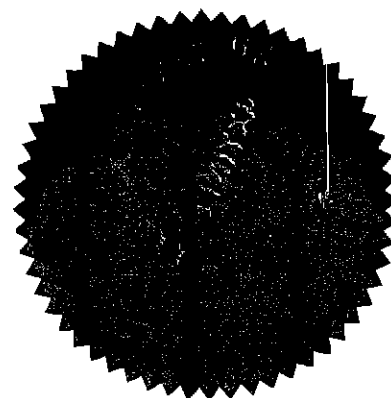
Acting by:- **GEORGE WIMPEY UK LIMITED**

was hereto affixed in
the presence of:-

Director

Director/Secretary

*Authorised
Signatory*

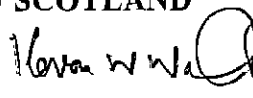


GWUK/WB/01/0174

Executed as a Deed by

as attorney for and on behalf of
**THE GOVERNOR AND COMPANY
OF THE BANK OF SCOTLAND**

in the presence of:-


KEVAN WALKER.

Authorised Signatory



cofton land & property

cofton house, firswood road, garretts green, birmingham B33 0ST

telephone: 0121 628 4000 : fax: 0121 628 1399

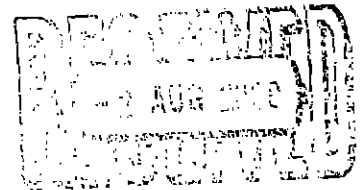
e-mail: admin@cofton.co.uk

website: www.cofton.co.uk

Our Ref: LASB/PA

1st August 2000

Mr J Pragnell
Michael Baker Properties
Baring House
6 Baring Crescent
Exeter EX1 1TL



Dear Sir

Re: Pillmere, Saltash

Further to our previous telephone conversation, please find enclosed our proposal for the permanent security fence to the vehicle compound at Tamar Car Auctions. This security fence is the equivalent of the existing and fulfills our obligations under Clause 22 of the Contract.

I look forward to receiving your earliest confirmation.

Yours faithfully
for Cofton Land & Property

**L A S BONNER
DEVELOPMENT MANAGER**

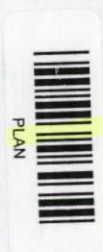
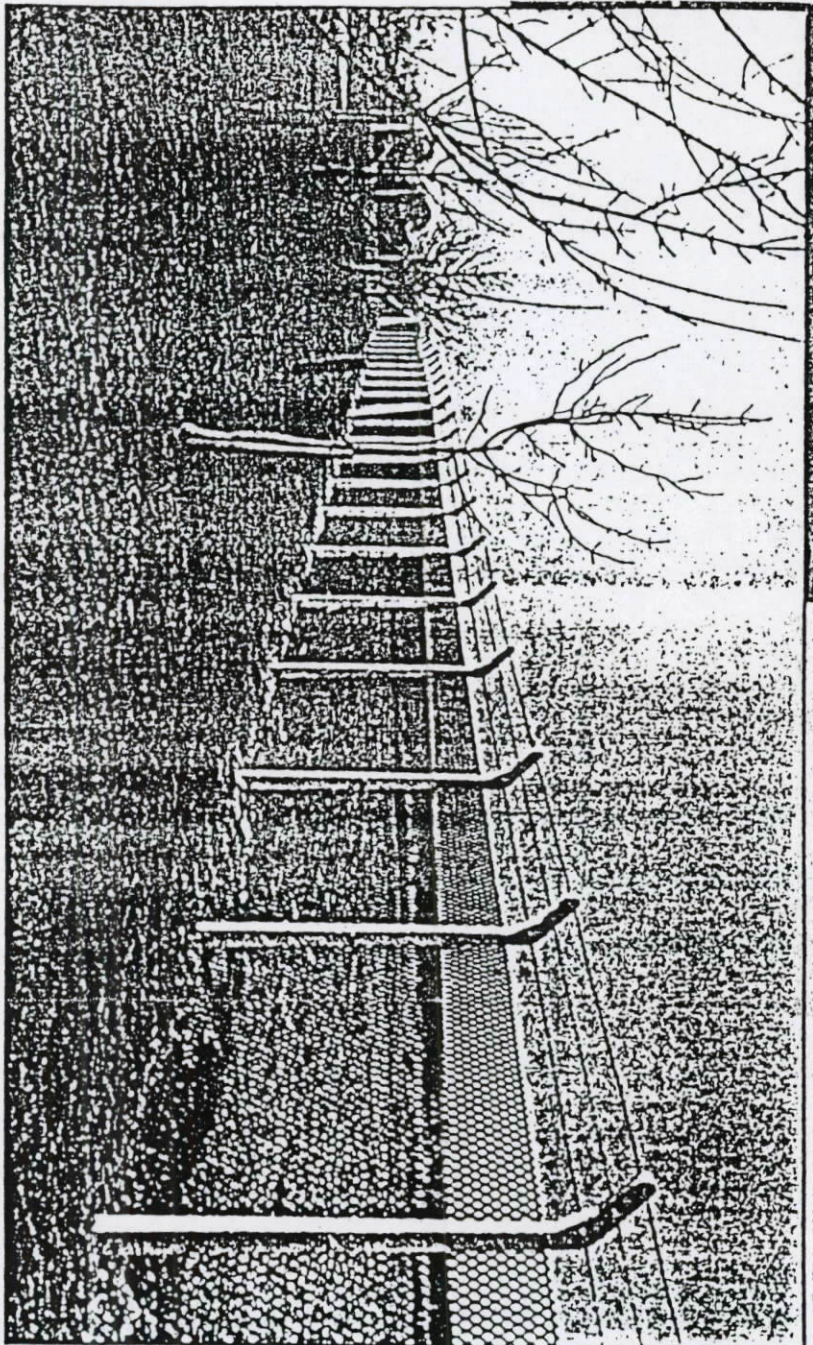
Enc.

cc. TT, JN, ND



A division of cofton ltd. reg. no. 206 4506 England.
A cofton group ltd. company





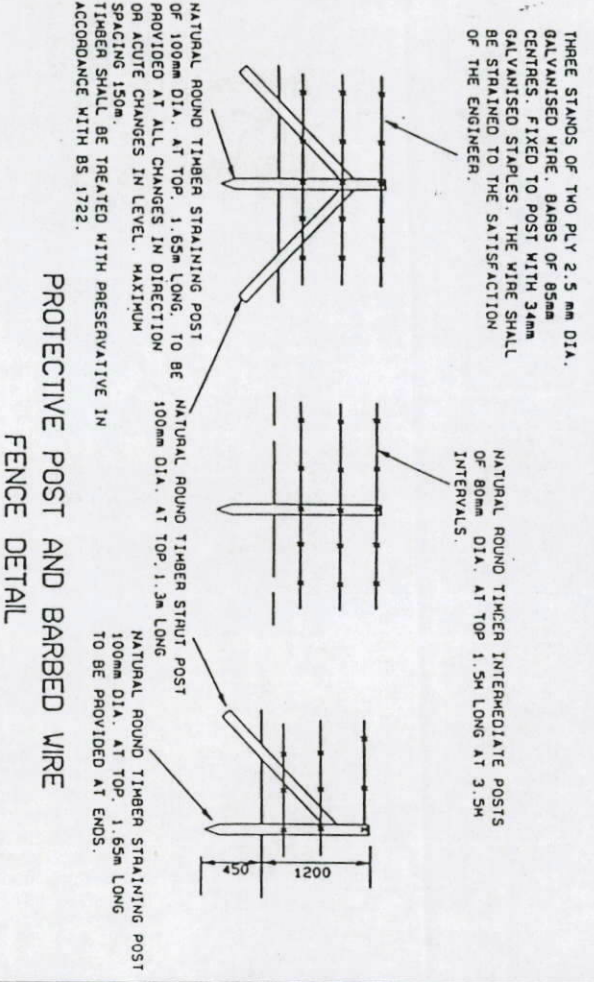
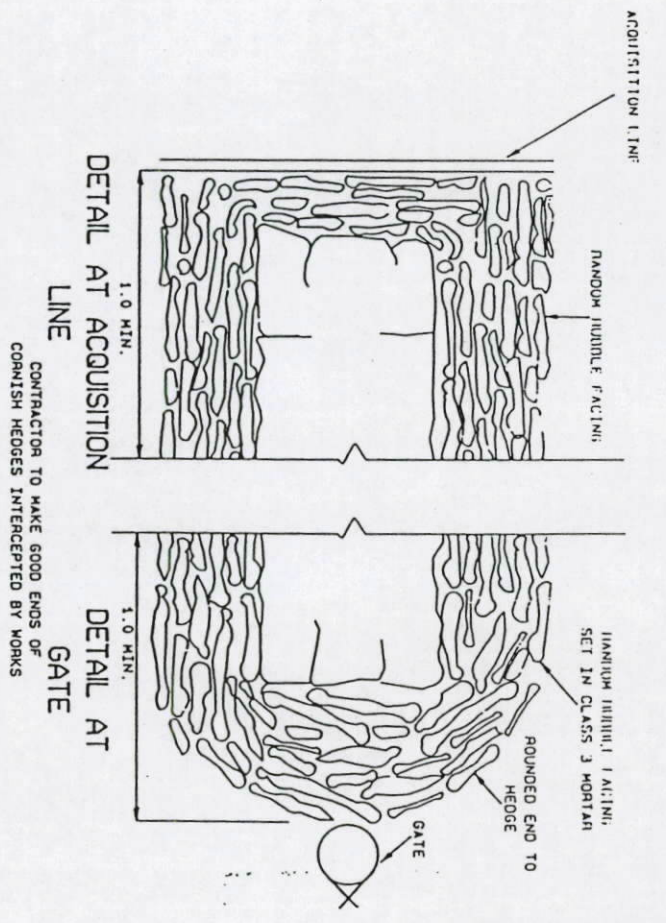
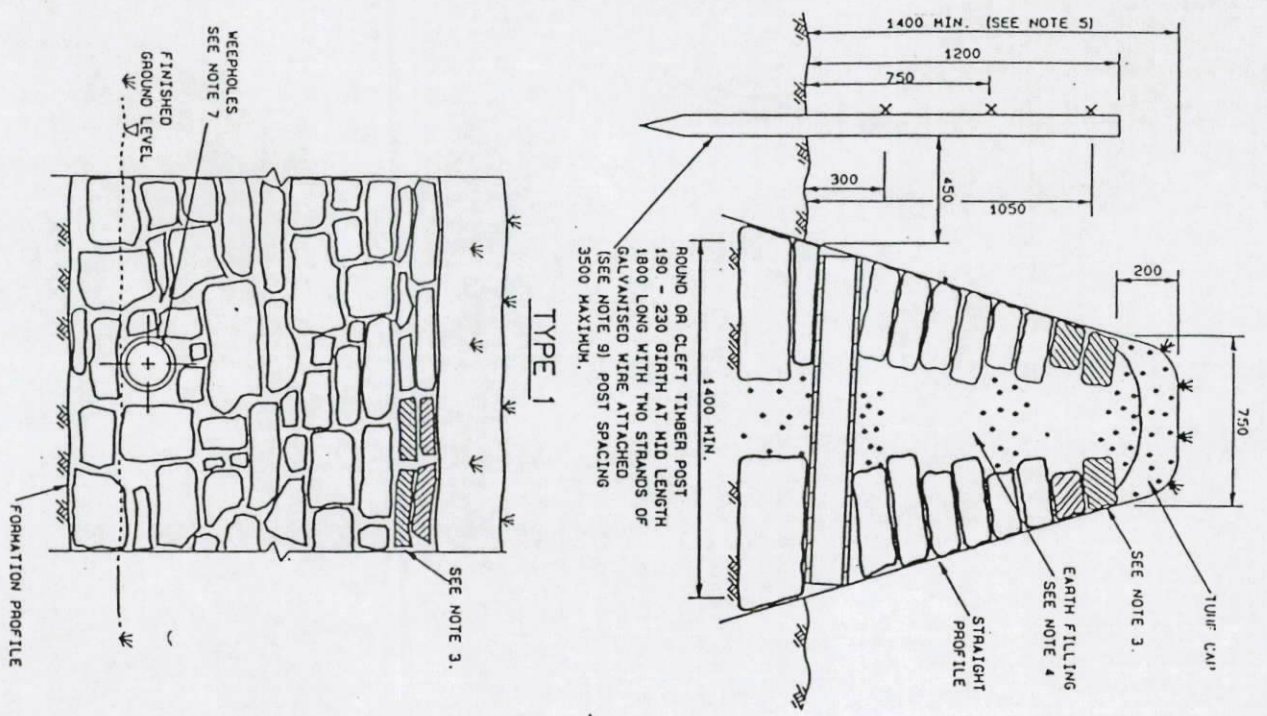
A very popular type of chain link security fencing. The chain link may be either galvanised or PVC-coated, and posts may be concrete, steel or timber, including a cranked top for barbed wire if necessary.



7



CORNISH HEDGE TYPE 1



NOTES

1. APPROVED DUNHILL STONE SHALL BE USED
2. INDIVIDUAL STRECHEN STONE SIZES SHALL BE:
MAX. 600mm x 150mm ON THE FACE, AS LAID BY 300mm WIDTH.
MIN. 150mm x 50mm ON THE FACE, AS LAID BY 150mm WIDTH.
THE STONES SHALL BE LAID WITH BEDDING PLANES (WHERE SUCH PLANES EXIST) HORIZONTAL, AND WITH ALL STONES LOAD BEARING, PERPENDICULAR JOINTS IN ADJACENT COURSES ARE TO BE STAGGERED BY AT LEAST 50mm, WITH LARGER STONES IN THE LOWER COURSES.
3. BONDING STONES, OF MINIMUM SIZE 150mm x 150mm ON THE EXPOSED FACE, 450mm IN LENGTH SHALL BE LAID TO EVERY 1.0 SO. METRE OF HEDGE.
FOOTINGS FOR THE BASE COURSES OF EACH FACE SHALL BE EXCAVATED TO A DEPTH OF AT LEAST 150mm, THE BED BEING SLOPED TO THE CORRECT ANGLE TO ENABLE THE FACES OF THE HEDGE TO BE BUILT TO THE PROFILE SPECIFIED.
4. JACK AND JILL WHEN SPECIFIED
INDIVIDUAL STONE SIZES SHALL BE:
MAX. ON FACE 200mm x 40mm.
MIN. ON FACE 150mm x 40mm.
MAX. DEPTH 300mm, MIN DEPTH 200mm, IN 150mm LAYERS.
5. HEDGES TO FOLLOW THE GENERAL GROUND PROFILE WITH SMALL ADJUSTMENT TO HEIGHT AS NECESSARY TO OBTAIN A FLOWING ALIGNMENT.
6. HEDGES EXCEEDING 1.4m IN HEIGHT BUT NOT 2.0m ARE TO BE CONSTRUCTED TO THE ABOVE PATTERN.
7. WEEP-HOLE TO BE PROVIDED AT ALL LOW POINTS AND WHERE SHOWN ON DRAWINGS OR WHERE DIRECTED BY ENGINEER, NOMINAL SPACING 10m CENTRES. PIPE DIA TO BE 150mm DIA. CONCRETE PIPE TO BS 5911 PART 1 CLASS 1 LAID TO FALL.
8. STOP ENDS AT GATEWAYS AND STILES TO BE IN ACCORDANCE WITH STONED OFF HEDGEBANK DETAIL.
9. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES

NOT TO SCALE

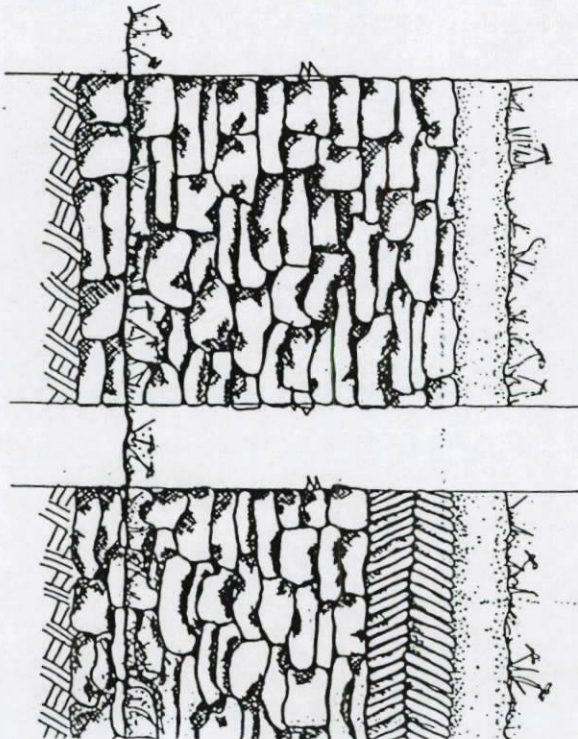
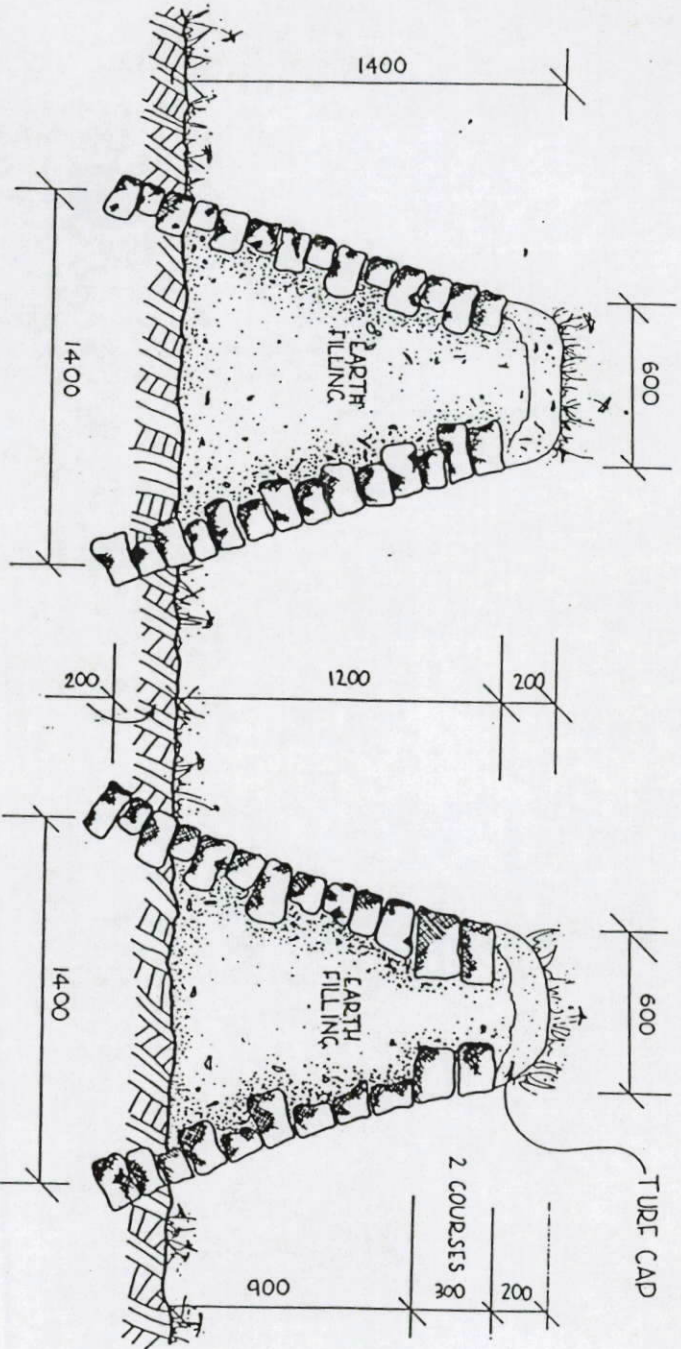
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1/1/11	99	1/1/11	1/1/11
1/1/11	100	1/1/11	1/1/11

STRETCHERS
610mm x 150mm to 150mm x 50mm
on face and 100mm to 250mm deep approx.

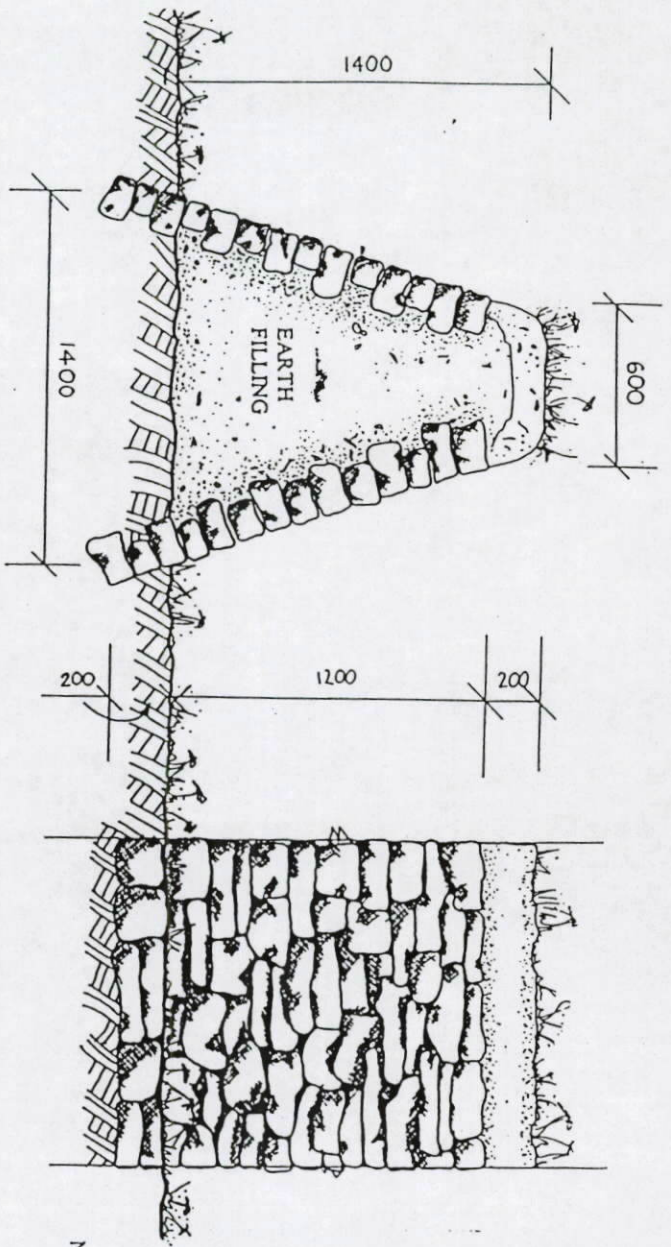
ALTERNATIVES

JACK AND JILL
200mm x 40mm to 150mm x 40mm
on face and 100mm to 150mm deep approx.

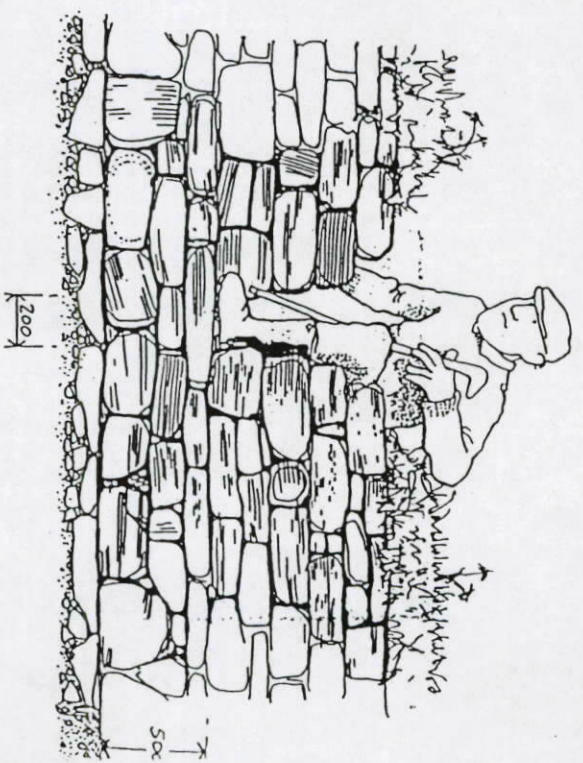
ALTERNATIVES



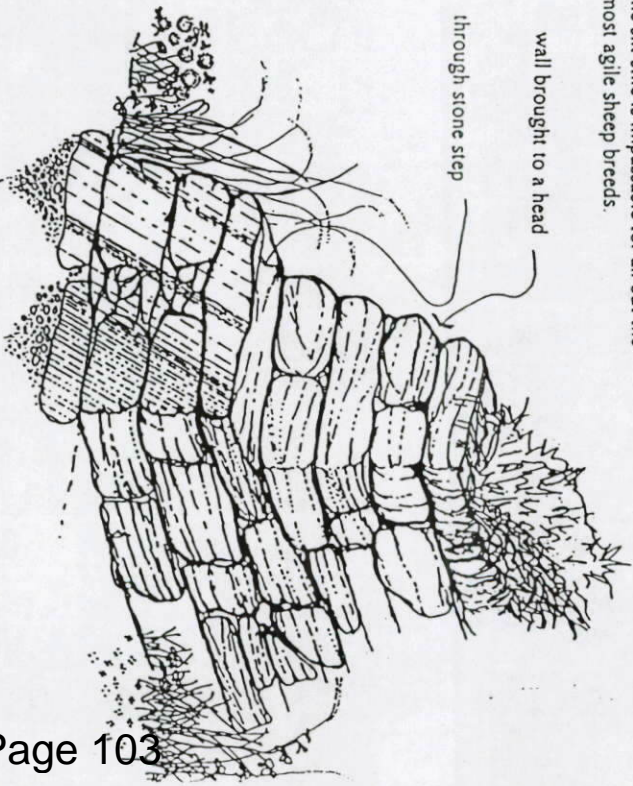
STRETCHERS
610 x 150mm to 150 x 50mm on face,
100 to 150mm deep approximately



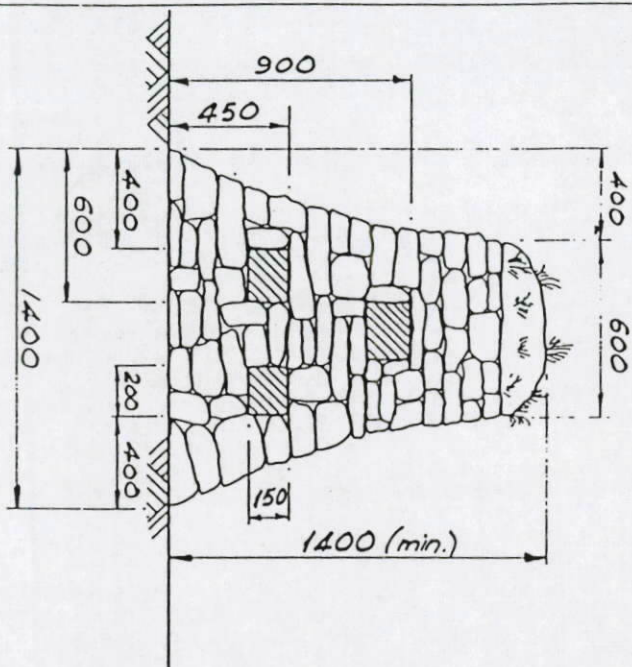
Note: Height of step above ground and width of opening are crucial factors in ensuring the slit stile is impassable for all but the most agile sheep breeds.



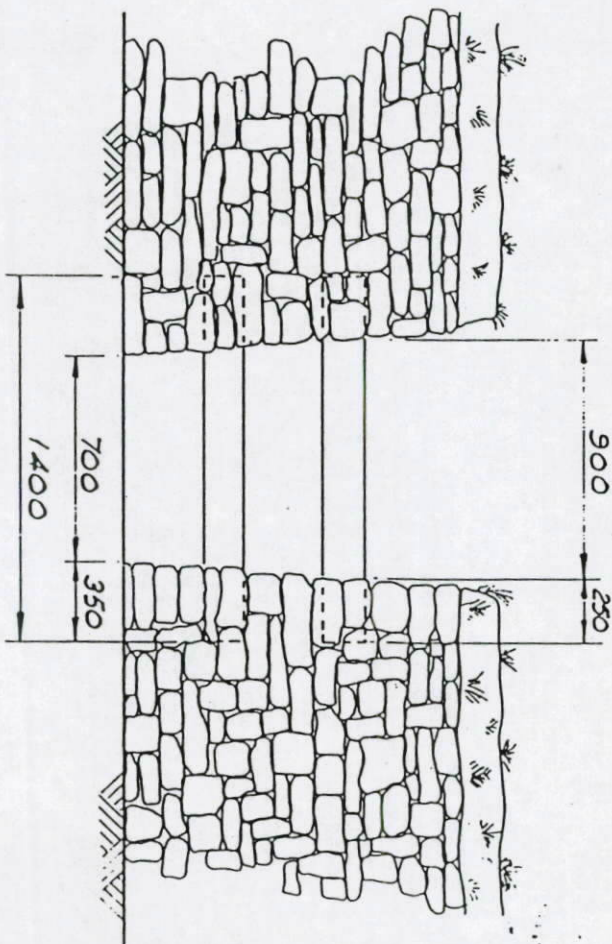
wall brought to a head
through stone step



SECTION

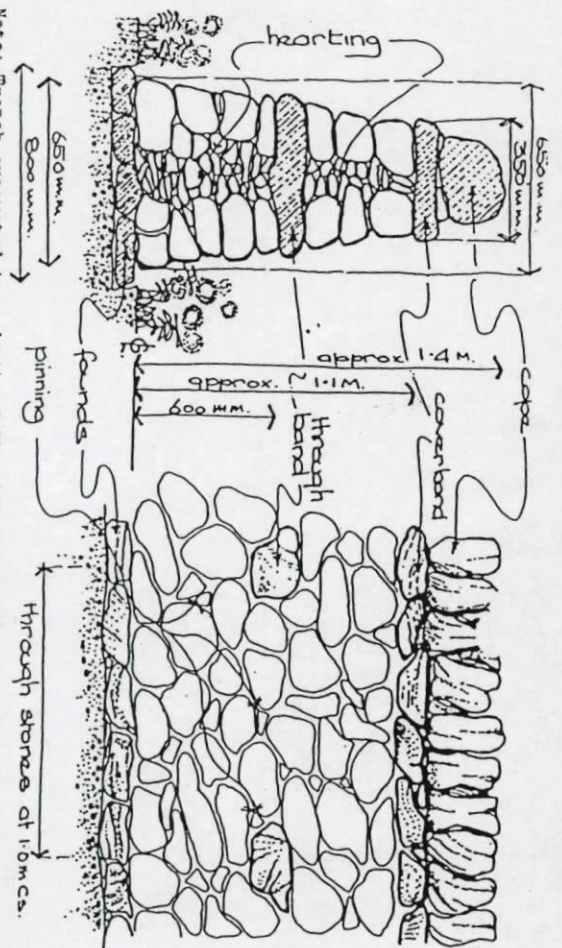


ELEVATION



NOTES

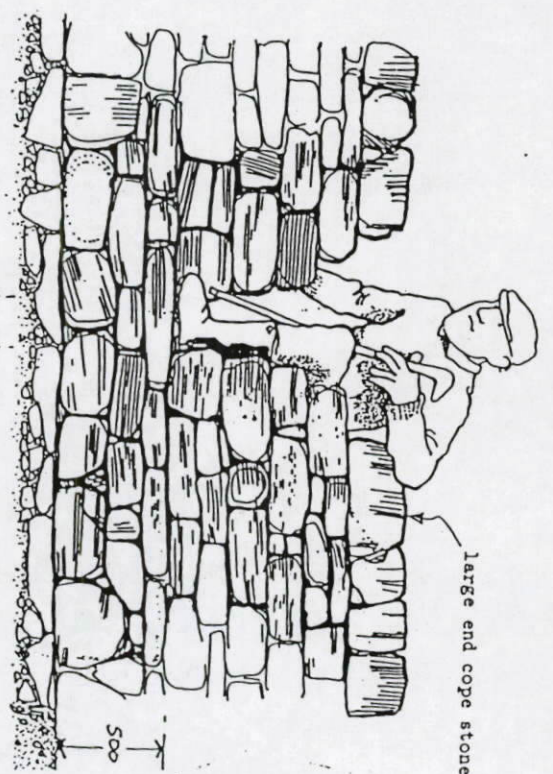
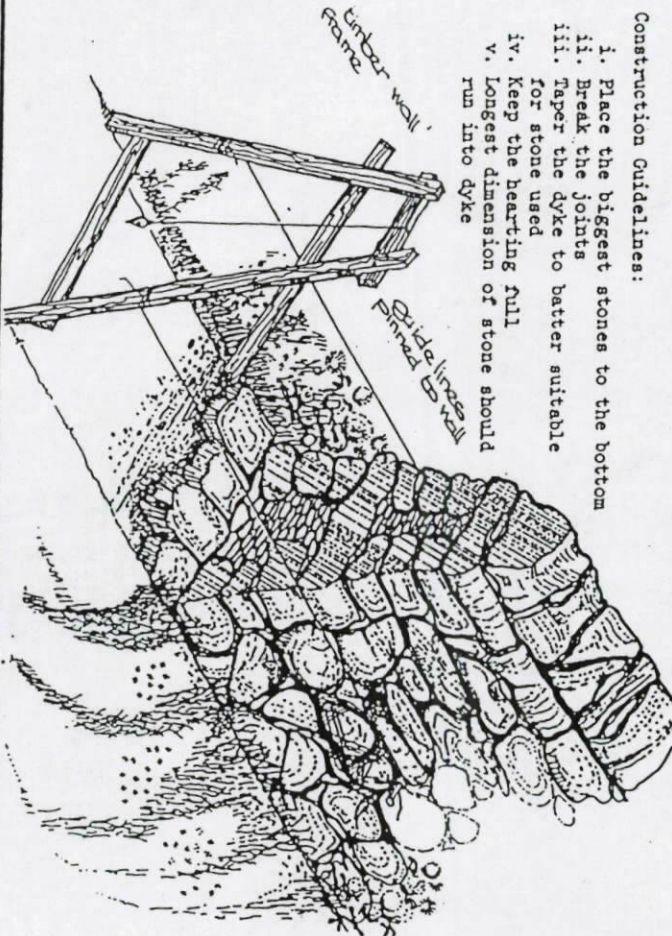
1. Steps shall be dressed Natural Stone kerbs complying with B.S.435 1975.
2. Steps shall be granite 200 x 150 x 1400 finished in accordance with standard dressing C-4+10mm - 5mm 3. This dry. to be read in conjunction with Drg. No. SD229/B



Note: Trench excavated to a depth of 50 - 150mm according to soil conditions and to a width allowing up to 50mm projection of founds (scarce) on either side of the base. A light timber wall frame may be used as a template for the cross sectional profile of the dyke. A plumb line is suspended from the top of the frame, lines from the frame are drawn taut and pinned to the wall so providing guides, dimensions are to the outer edges of the frame.

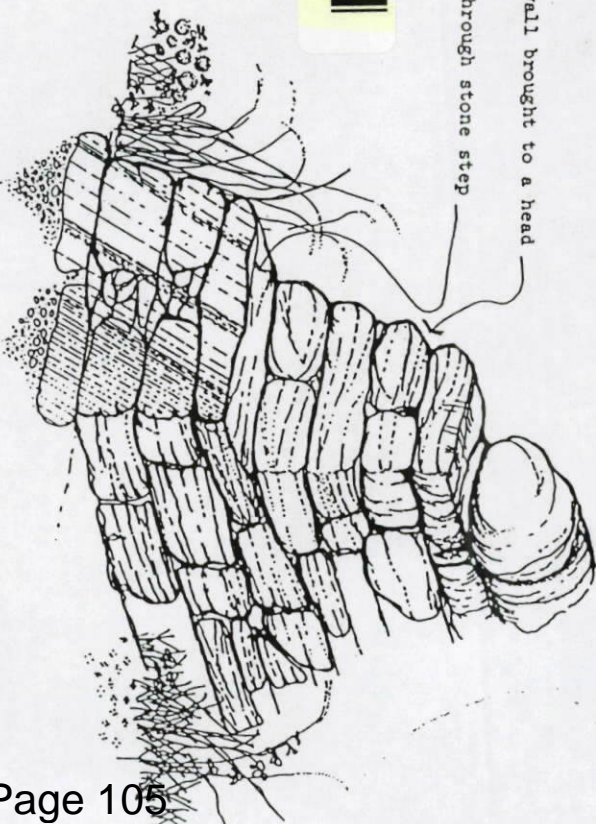
Construction Guidelines:

- Place the biggest stones to the bottom
- Break the joints
- Taper the dyke to batter suitable for stone used
- Keep the hearting full
- Longest dimension of stone should run into dyke



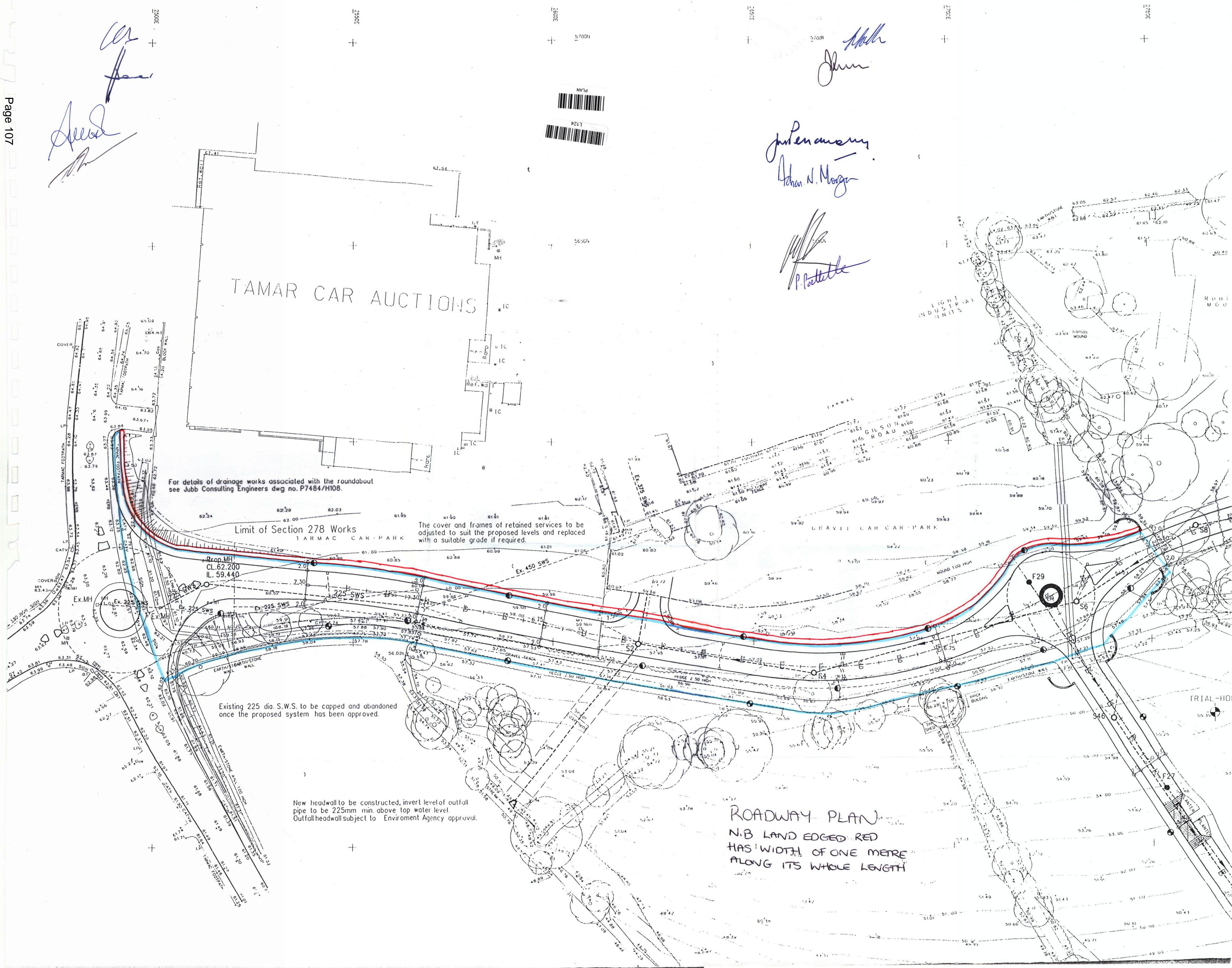
Note: Height of step above ground and width of opening are crucial factors in ensuring that the slit stile is impassable for all but the most agile sheep breeds.

wall brought to a head
through stone step



PLAN





**REGISTER OF LOCAL LAND CHARGES
OFFICIAL CERTIFICATE OF SEARCH**

Search Reference: E2/2526/05864

Date: 19-Sep-2025

X-Press Legal Services

The Hill House

St Martins Road,
Looe
PL13 1LP

E2-00761066

Official Search required in all parts of the Register of Local Land Charges for subsisting registrations against the land described and the plan submitted.

Land: Land adjacent to 3
Campion Close
Saltash
Cornwall
PL12 6XN

It is hereby certified that the search requested above reveals the 12 registrations described in the Schedule(s) hereto up to and including the date of this certificate.

Signed: Louise Wood
On behalf of: Cornwall Council

Cornwall Council

Register of Local Land Charges Schedule to Official Certificate of Search

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Agreement dated 25th September 1998 under Section 106 Town and Country Planning Act 1990 Deed of Variation dated 2nd May 2000 Ref:3F/687 TLC Ref: PT6974062	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	05/03/2001
5/95/00345/O Residential development and associated site works and access Town and Country Planning Act 1990 TLC Ref: PT6974049	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	15/12/2000
Agreement dated 2nd May 2000 containing covenants under Section 106 Town and Country Planning Act 1990 Ref:3F/666 TLC Ref: PT6974061	Cornwall Council, County Hall, Truro TR1 3AY	Cornwall Council, Luxstowe House, Liskeard	04/05/2000
5/96/00194/O Residential development and associated site works and access Town and Country Planning Act 1990 TLC Ref: PT6974050	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997
Agreement dated 30th September 1997 under Section 106 Town and Country Planning Act 1990 Ref:3F/601 TLC Ref: PT6974058	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997
Agreement dated 30th September 1997 under Section 106 Town and Country Planning Act 1990 Ref:3F/602	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997

Cornwall Council**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
TLC Ref: PT6974059 Reserved Matters Conditional Planning Permission dated 09/10/2001 Reserved matters application in respect of strategic landscaping of site also including construction of play areas, cycleways and footpaths (Following Outline Approval No. APP/KO805/A/96/263790). Application Number: E2/00/01480/REM Issued to: Cofton Ltd, Barratts, Wimpey And Persimmon Homes TLC Ref: AP2064166	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	09/10/2001
Reserved Matters Conditional Planning Permission dated 16/08/2001 Reserved Matters for 139 dwellings with garaging, parking and estate roads. Construction of new vehicular/pedestrian access to highway (following outline approval APP/KO805/A/96/263790 dated 12.11.98. Application Number: E2/00/01030/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063637	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/08/2001
Reserved Matters Conditional Planning Permission dated 09/04/2001 Construction of estate roads and associated drainage infrastructure (Reserved matters following decision 95/0345/0 approved on appeal	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	09/04/2001

Cornwall Council

Register of Local Land Charges Schedule to Official Certificate of Search

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
decision APP/K0805/A/96/263790 dated 12.11.98). Application Number: E2/00/00471/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063030			
Full application Conditional Planning Permission dated 29/11/2000 Variation of Planning condition 'V' of Department of the Environment decision No K0805/A/96/263790 to substitute 'masterplan' Layout Drg DS735 SK07/K by a revised 'masterplan' Layout Drawing. Application Number: E2/00/00777/FUL Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063355	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	29/11/2000
Reserved Matters Conditional Planning Permission dated 15/11/2000 Construction of Phase 1 of access road and drainage infrastructure (Reserved matters following decision 95/0346/O approved on appeal decision APP/K0805/A/96/263791 dated 12.11.98). Application Number: E2/00/00472/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063032	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	15/11/2000
Tree Preservation Order	Caradon District Council, Luxstowe	Cornwall Council, Luxstowe House,	15/11/2000

Cornwall Council**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Conditional Planning Permission dated 15/11/2000 Application to fell (and replace where appropriate) diseased and/or dangerous trees, coppice, crown lift/reduce and other works for reasons of health of the trees and public safety, on trees subject to a Tree Preservation Order Application Number: E2/00/00870/TPO Issued to: Cofton Land And Property Ltd TLC Ref: AP2063458	House, Liskeard	Liskeard	

**REPLIES TO CON29 ENQUIRIES
OF LOCAL AUTHORITY (2016 Edition)**

X-Press Legal Services
The Hill House

St Martins Road,
Looe
PL13 1LP

E2-00761066

Search Reference:E2/2526/05864

Date: 22-Sep-2025

Property: Land adjacent to 3
Campion Close
Saltash
Cornwall
PL12 6XN

**Other Roads
etc:**

I refer to your Standard Enquiries relating to the above property. These replies relate to that property as shown on the location plan where supplied. The replies are given subject to the Notes to the Standard Enquiries.

All correspondence relating to these answers should quote the official Search Reference.

Standard Enquiries of Local Authority

PLANNING AND BUILDING REGULATIONS

1.1 Planning and building decisions and pending applications

(a) 95/0345/O

Residential development and associated site works and access

4.11.97

Allowed on Appeal

Conditional

596/0194/O

Residential development and associated site works and access.

30.9.1997

Approved with Conditions

Reference: E2/00/00471/REM

Construction of estate roads and associated drainage infrastructure

(Reserved matters following decision 95/0345/O approved on appeal decision APP/K0805/A/96/263790 dated 12.11.98).

Date Decision Issued : 09/04/2001

Decision :Application Permitted with S106

Reference: E2/00/00472/REM

Construction of Phase 1 of access road and drainage infrastructure (Reserved matters following decision 95/0346/O approved on appeal decision APP/K0805/A/96/263791 dated 12.11.98).

Date Decision Issued : 15/11/2000

Decision :Approved with conditions

Reference: E2/00/00777/FUL

Variation of Planning condition 'V' of Department of the Environment decision No K0805/A/96/263790 to substitute 'masterplan' Layout Drg DS735 SK07/K by a revised 'masterplan' Layout Drawing.

Date Decision Issued : 29/11/2000

Decision :Approved with conditions

Reference: E2/00/00870/TPO

Application to fell (and replace where appropriate) diseased and/or dangerous trees, coppice, crown lift/reduce and other works for reasons of health of the trees and public safety, on trees subject to a Tree Preservation Order

Date Decision Issued : 15/11/2000

Decision : Approved with conditions

Reference: E2/00/01030/REM

Reserved Matters for 139 dwellings with garaging, parking and estate roads. Construction of new vehicular/pedestrian access to highway (following outline approval APP/K0805/A/96/263790 dated 12.11.98.

Date Decision Issued : 16/08/2001

Decision : Approved with conditions

Reference: E2/00/01480/REM

Reserved matters application in respect of strategic landscaping of site also including construction of play areas, cycleways and footpaths (Following Outline Approval No. APP/K0805/A/96/263790).

Date Decision Issued : 09/10/2001

Decision : Approved with conditions

(b) None.

(c) None.

(d) None.

(e) None.

(f) None

(g) None

(h) None

(i) None

(j) None

(k) None

(l) None.

Informative

- (1) *This reply does not cover other properties in the vicinity of the property.*
- (2) *As from 1 April 2002 the installation of a replacement window, rooflight or roof window or specified type of glazed door must either have building regulation approval or be carried out and certified by a person who is registered under the Fenestration Self-Assessment Scheme by the Glass and Glazing federation.*
- (3) *Answers to enquiries 1(j) - 1(l) are based on the best information readily available from the Authority's computer records, at the time of the search.*
- (4) *As there are a number of self certification schemes in operation, it is strongly recommended that the owner/occupier of the property be asked to produce a certificate for any works covered by such a scheme.*
- (5) *Initial Notices (reference numbers prefixed IN) are submitted to the Council by Approved Inspectors and enquiries as to the status of the development should be made to the relevant inspecting body. Please refer to the website cic.org.uk*
- (6) *Enquiries should be made with the Building Safety Regulator for answers to questions 1.1j,k & l for applications received on high rise buildings since 1st October 2023.*
- High-rise buildings are defined as having 7 or more storeys and/or being 18 metres or more high, and either having at least 2 residential units or being hospitals or care homes (during design and construction).*
- For further information please visit <https://www.hse.gov.uk/building-safety/regulator.htm>*
- You may also wish to make enquiries of developers of new buildings and/or managing agents of existing buildings.*

1.2 Planning designations and proposals

Cornwall Local Plan, Strategic Policies 2010-2030 were adopted 22nd November 2016, for information go to www.cornwall.gov.uk/localplancornwall

Designations: None

Informative

The above replies include policies or proposals in any existing development plans and in proposed alterations to development plans, but not those in planning guidance notes.

Consideration should be given to asking Optional Enquiry No.16 on the Con 290 (Mineral Consultation Areas), which although not a designation may on investigation affect the property.

ROADS AND PUBLIC RIGHTS OF WAY

2.1 Roadways, footways and footpaths

- (a) Campion Close, Grassmere Way and Footways.

(b) None

(c) None

(d) None

Informative

(1) The reply to enquiry 2a is restricted to roads, footways and footpaths

maintainable at public expense within the meaning of the Highways Act 1980 (s.36). If the road, footway or footpath is not a publicly maintainable highway, the Council cannot express an opinion as to what rights of access may exist over it. An affirmative reply does not imply that the publicly maintainable highway directly abuts the boundary of the property. If information regarding the limits of the highway is required, a separate enquiry, including a plan showing the area in question, should be made to the Land Charges Highway Team, whereupon it will be forwarded to the relevant Divisional Highways Office. An additional fee will be charged for this information.

(2) The reply to enquiry 2a does not include footpaths, bridleways or byways as shown on the revised definitive map which may or may not be maintainable at the public expense.

Public rights of way

2.2 Is any public right of way which abuts on, or crosses the property, shown in a definitive map or revised definitive map?

No

2.3 Are there any pending applications to record a public right of way that abuts, or crosses the property, on the Register?

No

2.4 Are there any legal orders to stop up, divert, alter or create a public right of way which abuts, or crosses the property not yet implemented or shown on a definitive map?

No

2.5 If so, please attach a plan showing the approximate route.

N/A

Informative

The replies to this enquiry are without prejudice to any other public rights of way that are not shown on the definitive map

OTHER MATTERS

3.1 Land required for public purposes

No

3.2 Land to be acquired for road works

No

Informative

The reply to enquiry 3.2 is answered with respect to schemes that have been approved for construction by the council, or have been notified to the council by any other highway authority.

3.3 Drainage matters

(a) At present there is no requirement for the Council to adopt SuDs and as such all SuDs will be in the ownership of the Developer/landowner or transferred to the property owner.

The Council, via the planning process, will work with developers to agree SuDs schemes in accordance with the National Non Statutory Standards. Planning conditions may be imposed on individual planning applications requiring developers to make arrangements for the long term management and maintenance of SuDs

(b) Any specific SuDs features located on individual properties will be identified on final construction drawings produced by the developer and transferred to legal property deeds

(c) Longterm management and any financial arrangements for maintenance of SuDs is the responsibility of the developer/landowner who may choose to make arrangements for financial contributions towards SuDs maintenance from property owners.

3.4 Nearby road schemes

- (a) No
- (b) No
- (c) No
- (d) No
- (e) No
- (f) No

Informative

(1) The replies to enquiries 3.4.(a - f) relate to roads that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act1980(s36). The replies to enquiries 3.4 (c) (d) and (f) refer to proposals involving carriageway widening that include additional lanes for motor vehicles. The widening of approaches to proposed junction improvements and schemes that only consist of acceleration/deceleration lanes are not included here but will be revealed in the reply to enquiry 3.6 (i).

(2) If the reply to enquiry 3.4.(a, b, c, e or f) is positive and relates to the A30 or A38, please refer to: The Highways Agency, Ash House, Falcon Road, Sowton Industrial Estate, Exeter EX2 7LB for further details

3.5 Nearby railway schemes

- (a) No
- (b) No

Informative

(1) The replies to enquiries 3.4.(a - f) relate to roads that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act1980(s36). The replies to enquiries 3.4 (c) (d) and (f) refer to proposals involving carriageway widening that include additional lanes for motor vehicles. The widening of approaches to proposed junction improvements and schemes that only consist of acceleration/deceleration lanes are not included here but will be revealed in the reply to enquiry 3.6 (i).

(2) If the reply to enquiry 3.4.(a, b, c, e or f) is positive and relates to the A30 or A38, please refer to: The Highways Agency, Ash House, Falcon Road, Sowton Industrial Estate, Exeter EX2 7LB for further details

3.6 Traffic schemes

- (a) No

- (b) No
- (c) No
- (d) No
- (e) No
- (f) No
- (g) No
- (h) No
- (i) No
- (j) No
- (k) No
- (l) No

Informative

(1) The replies to these enquiries relate to permanent or experimental proposals on roads, footways and footpaths that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act 1980 (s36).

(2) The reply to (g) relates to proposals that involve physical construction on the carriageway but not to changes in speed limits.

(3) The reply to (h) refers to proposals for the introduction or removal of residents parking controls. Amendments to existing waiting and loading restrictions within a residents controlled parking area will be revealed in the reply to enquiry 3.6 (b).

(4) The reply to (i) covers proposals such as junction improvements, turning and acceleration/deceleration lanes etc., which are not revealed in the reply to enquiry 3.4. Pedestrian improvements (other than the construction of new footways) and improvements that are purely maintenance will not be revealed.

(5) The reply to (k) covers cycle tracks and marked cycle lanes, but not advisory routes.

3.7 Outstanding notices

- (a) No
- (b) No
- (c) No

(d) No

(e) No

(f) No

(g) No

3.8 Contravention of building regulations

No

3.9 Notices, orders, directions and proceedings under Planning Acts

(a) No

(b) No

(c) No

(d) No

(e) No

(f) No

(g) No

(h) No

(i) No

(j) No

(k) No

(l) No

(m) No

(n) No

3.10 Community infrastructure levy (CIL)

(a) Yes

Please see our website at www.cornwall.gov.uk/cil, which includes a Frequently Asked Questions page. For more complex queries please direct these to cil@cornwall.gov.uk.

(b) (i) a liability notice?

No.

(ii) a notice of chargeable development?

No.

(iii) a demand notice?

No.

(iv) a default liability notice?

No.

(v) an assumption of liability notice?

No.

(vi) a commencement notice?

No.

(c) No

(d) N/A

(e) No

(f) No

(g) No

(h) No

3.11 Conservation area

(a) No

(b) No

3.12 Compulsory purchase

No

3.13 Contaminated land

(a) No

(b) No

(c) No

Informative

Negative answers do not imply that the property or any adjoining or adjacent land is free from contamination or from the risk of it, and the reply may not disclose steps taken by another Council in whose area adjoining or adjacent land is situated.

3.14 Radon gas

Yes most of Cornwall is a radon affected area with small pockets of land unaffected. The estimated radon potential for an individual home can be obtained through a website. www.UKradon.org

3.15 Assets of Community Value

(a) No

(b) N/A

Informative

(1) The replies to enquiries 3.1 to 3.12 relate only to matters which are not entered on the Local Land Charges Register. another Council in whose area adjoining or adjacent land is situated.

(2) For any enquiries or copy documents please contact Local Land Charges Section, Cornwall Council. Tel: 0300 1234 151 Email: landcharges@cornwall.gov.uk

Reply Notes:

These replies have been given in accordance with the notes appended to CON29 form.

References to the provisions of particular Acts of Parliament or Regulations include any provisions which they have replaced and also include existing or future amendments or re-enactments.

The replies will be given in the belief that they are in accordance with information presently available to the officers of the replying local authority, but none of the local authorities or their officers accepts legal responsibility for an incorrect reply, except for negligence. Any legal responsibility for negligence will be owed to the person who raised the enquiries and the person on whose behalf they were raised. It will also be owed to any other person who has knowledge (personally or through an agent) of the replies before the time when he purchases, takes a tenancy of, or lends money on the security of the property or (if earlier) the time when he becomes contractually bound to do so.

This Form should be read in conjunction with the guidance notes available separately.

Area means any area in which the property is located.

References to the Local Authority include any predecessor Local Authority and also any Local Authority committee, sub-committee or other body or person exercising powers delegated by the Local Authority and their approval includes their decision to proceed. The replies given to certain enquiries cover knowledge and actions of both the District Local Authority and County Local Authority.

Optional Enquiries

COMMON LAND AND TOWN OR VILLAGE GREEN

22.1. Is the property, or any land which abuts the property, registered common land or town or village green under the Commons Registration Act 1965 or the Commons Act 2006?

No

22.2. Is there any prescribed information about maps and statements, deposited under s.15A of the Commons Act 2006, in the register maintained under s.15B(1) of the Commons Act 2006 or under s.31A of the Highways Act 1980?

No

22.3. If there are any entries, how can copies of the matters registered be obtained and where can the register be inspected?

N/A

Informative

1)The replies to enquiries 3.1 to 3.12 relate only to matters which are not entered

on the Local Land Charges Register.

(2)For any enquiries or copy documents please contact Local Land Charges Section, Cornwall Council. Tel: 0300 1234 151

Email: landcharges@cornwall.gov.uk

Pillmere Drive

E2/2526/05864

GRASSMERE WAY

Campion Cl

FOOTWAY

FOOTWAY

Screening



LAND ADJACENT TO 3 CAMPION CLOSE,
PILLMERE, SALTASH, PL12 6XN



Reference:
XP-JE1-00761066_3377209

Grid reference:
241695 059731

Your reference:
SAL249/2

Date:
16 September 2025

Consultant's guidance and recommendations inside.

Written by:



S Quick BSc (Hons) MSc

s.quick@groundsure.com

Professional opinion

Key results



Acceptable risk

Contaminated land

Page 3 →

Groundsure has not identified any risks of concern relating to contaminated land liabilities under Part 2A of the EPA 1990.



Negligible

Flooding

Page 19 →

No flood risks of significant concern have been identified at the site.

Other results



Ground stability

Page 20

Not identified

Summary →



Radon

Page 26

Identified

Summary →



Planning constraints

Page 28

Not identified

Summary →



Energy

Page 29

Identified

Summary →



Transportation

Page 39

Not identified

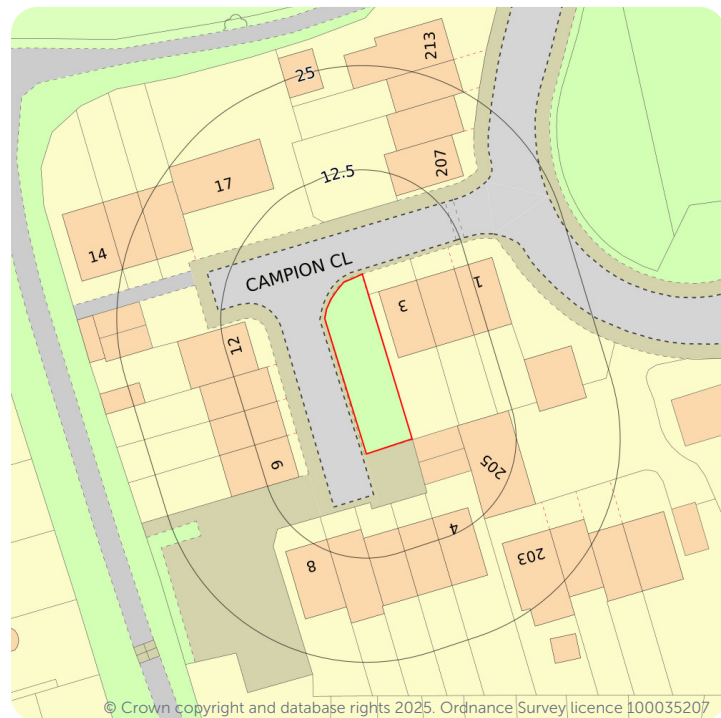
Summary →

A full assessment of these features is available in our [Energy & Transportation report](#). Contact Groundsure or your search provider for further details.

All recommendations

Page 43

Appendix →



ClimateIndex™

Page 21

Summary →

Physical risks

ClimateIndex™ projects changes in physical risks from **flooding, ground stability and coastal erosion**.

A

5 years

Negligible

A

30 years

Negligible

Rating key

A

B

C

D

E

F

Negligible risk → High risk

Transition risks

ClimateIndex™ covers transition risks including **energy efficiency**.

Recent aerial photograph



Aerial photography supplied by Getmapping PLC. © Copyright Getmapping PLC 2025. All Rights Reserved.

Capture Date: 06/08/2022

Site Area: 0.02ha



Contaminated land ?

Acceptable risk

The Contaminated Land Assessment was completed using a detailed risk assessment designed by qualified Environmental Consultants.

Section links

Consultant's assessment → Current/recent land use →
Past land use → Hydrogeology →
Waste and landfill → Hydrology →

Past land use

Acceptable risk



Waste and landfill

Acceptable risk



Current/recent land use

Acceptable risk



Contaminated land liability

Banking security

Is it likely that the property will represent acceptable banking security from a contaminated land perspective?

Yes

Statutory or 3rd party action

Is there a risk of statutory (e.g. Part 2A EPA 1990) or third party action being taken against the site?

Unlikely

Environmental liability

Is there a risk that the property value may be impacted due to contaminated land liability issues?

Unlikely

Next steps

Groundsure considers there to be an acceptable level of risk at the site from contaminated land liabilities.

If you require further advice, please contact our customer services team on 01273 257 755 or e-mail at info@groundsure.com.



Contaminated land

Consultant's assessment

The Contaminated Land Assessment was completed using a detailed risk assessment designed by qualified Environmental Consultants.

Section links

Consultant's assessment	→	Current/recent land use	→
Past land use	→	Hydrogeology	→
Waste and landfill	→	Hydrology	→

[Back to section summary](#) →

Environmental searches are designed to ensure that significant hazards and risks associated with this property are identified and considered alongside the investment in or purchase of a property.

Current land use

The site is currently a plot of undeveloped open space.

Historical land use

On-site

No potentially contaminative land uses of concern have been identified.

Surrounding area

No potentially contaminative land uses of concern have been identified near to the site.

Site setting

Potentially vulnerable receptors have been identified including site users, residents of properties in proximity, the underlying aquifers.

Conclusion

Groundsure has not identified a potential contaminant-pathway-receptor relationship that may give rise to significant environmental liability. Please refer to the Contaminated Land assessment methodology contained within this report.





Contaminated land data summary

Past land use	On-Site	0-50m	50-250m
Former industrial land use (1:10,560 and 1:10,000 scale)	0	0	3
Former tanks	0	0	1
Former energy features	0	0	2
Former petrol stations	0	0	0
Former garages	0	0	1
Former military land	0	0	0
Waste and landfill	On-Site	0-50m	50-250m
Active or recent landfill	0	0	0
Former landfill (from Environment Agency Records)	0	0	0
Former landfill (from Local Authority and historical mapping records)	0	0	0
Waste site no longer in use	0	0	0
Active or recent licensed waste sites	0	0	1
Current and recent land use	On-Site	0-50m	50-250m
Recent industrial land uses	0	0	18
National Geographic Database (NGD) - Current or recent tanks	0	0	0
Current or recent petrol stations	0	0	0
Historical licensed industrial activities	0	0	0
Current or recent licensed industrial activities	0	0	0
Local Authority licensed pollutant release	0	0	0
Pollutant release to surface waters	0	0	0
Pollutant release to public sewer	0	0	0
Dangerous industrial substances (D.S.I. List 1)	0	0	0
Dangerous industrial substances (D.S.I. List 2)	0	0	0
Dangerous or explosive sites	0	0	0
Hazardous substance storage/usage	0	0	0
Sites designated as Contaminated Land	0	0	0
Pollution incidents	0	0	2



Contaminated land
Past land use ?

Acceptable risk

The data summarised in this section relates to potentially contaminative land uses and operations that happened historically at and around the site.

- Section links
- Back to section summary →

Consultant's assessment →

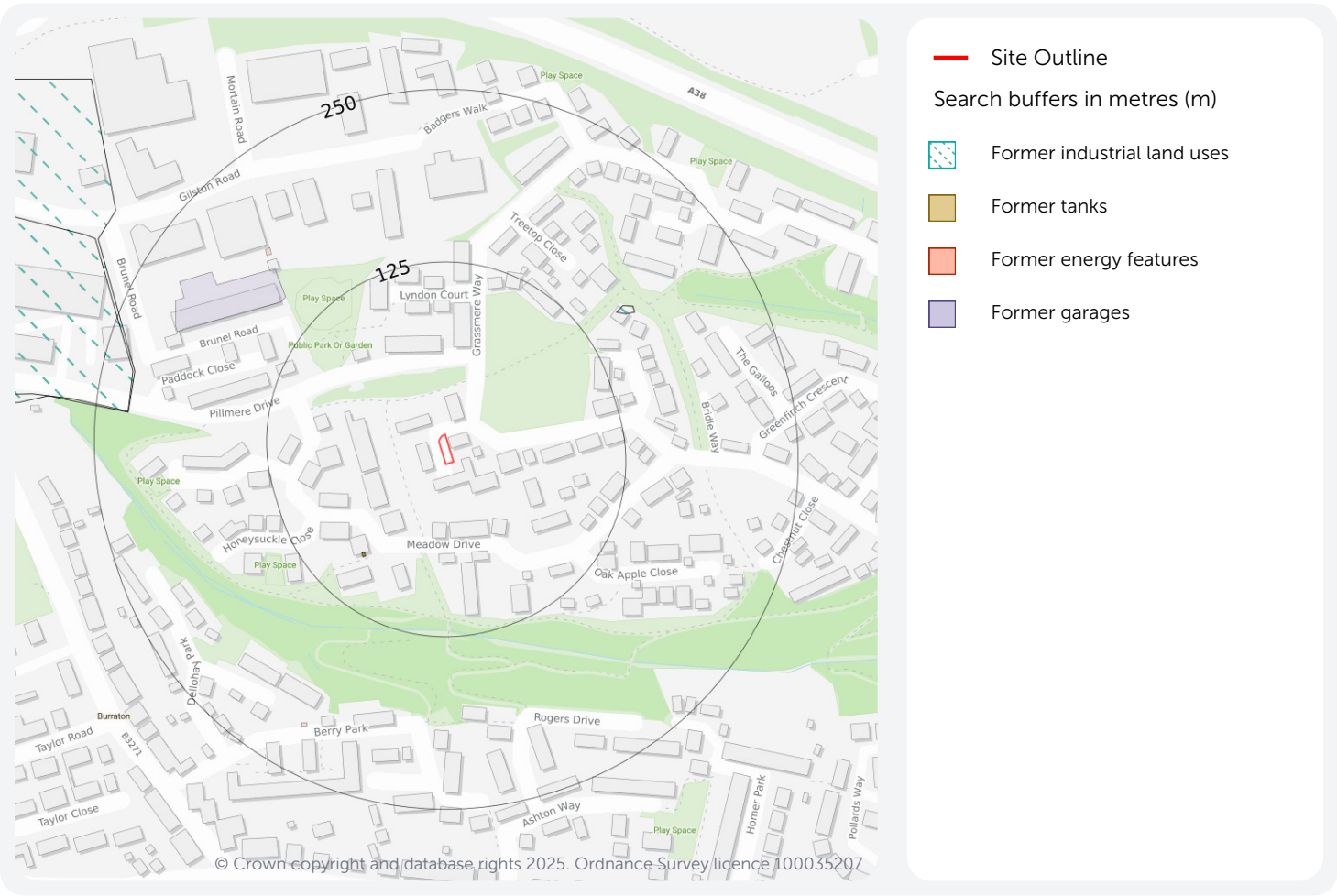
Past land use →

Waste and landfill →

Current/recent land use →

Hydrogeology →

Hydrology →



Former industrial land use (1:10,560 and 1:10,000 scale)

These historical land uses have been identified from 1:10,560 and 1:10,000 scale Ordnance Survey maps dated from the mid to late 1800s to recent times. They have the potential to have caused ground contamination. Please see the Environmental Summary to find out how these could impact the site.

Distance	Direction	Use	Date
153 m	NE	Unspecified Old Quarry	1888
226 m	W	Industrial Trading Estate	1992
226 m	W	Unspecified Factory	1983



This data is sourced from Ordnance Survey/Groundsure.

Former tanks

These tanks have been identified from high detailed historical Ordnance Survey maps dating from the mid-late 1800s to recent times. Tanks like this can sometimes store harmful waste, chemicals or oil, as well as more benign substances. Liquids stored in these tanks can leak when the tanks rust or become damaged over time, which could have caused contamination at this site.

Distance	Direction	Use	Date
87 m	SW	Unspecified Tank	1952

This data is sourced from Ordnance Survey/Groundsure.

Former energy features

Energy features such as substations, transformers or power stations have been identified from high detailed historical Ordnance Survey maps dating from the mid to late 1800s to recent times. Structures like this can sometimes cause soil or groundwater contamination.

Distance	Direction	Use	Date
181 m	NW	Electricity Substation	1986
213 m	SW	Electricity Substation	1997

This data is sourced from Ordnance Survey/Groundsure.

Former garages

These garages have been identified from high detailed historical Ordnance Survey maps dating from the mid to late 1800s to recent times. They have the potential to cause ground contamination. This can be because spills can occur when fuel, oil or solvents are used causing ongoing pollution. Older and obsolete garages are considered a greater risk than newer ones, as tanks can remain underground and deteriorate, sometimes causing significant leaks.

Distance	Direction	Use	Date
152 m	NW	Garage	1997

This data is sourced from Ordnance Survey/Groundsure.

Contaminated land

Waste and landfill ?

Acceptable risk

The data summarised in this section relates to closed and active landfill sites in the area as well as any waste treatment or storage facilities. These land uses can cause significant ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



— Site Outline

Search buffers in metres (m)

● Active or recent licensed waste sites

Active or recent licensed waste sites

These are records of waste sites that are operated under licence. Waste operations require an environmental permit (from Environment Agency or Natural Resources Wales) if the business uses, recycles, treats, stores or disposes of waste or mining waste. The permit can be for activities at one site or for a mobile plant used at many sites. Depending on the nature of waste being accepted by these facilities, there could be risk of ground contamination. Some waste sites can also cause nuisance problems due to noise, dust and odour.

Screening



ID	Distance	Direction	Address	Type	Size	Status
1	194 m	W	Environmental Sealand Services, Tamar View Ind Est, Saltash, Cornwall, PL12 6LD	Special Waste Transfer Station	Medium	Revoked

This data is sourced from the Environment Agency/Natural Resources Wales.



Contaminated land

Current and recent land use ?

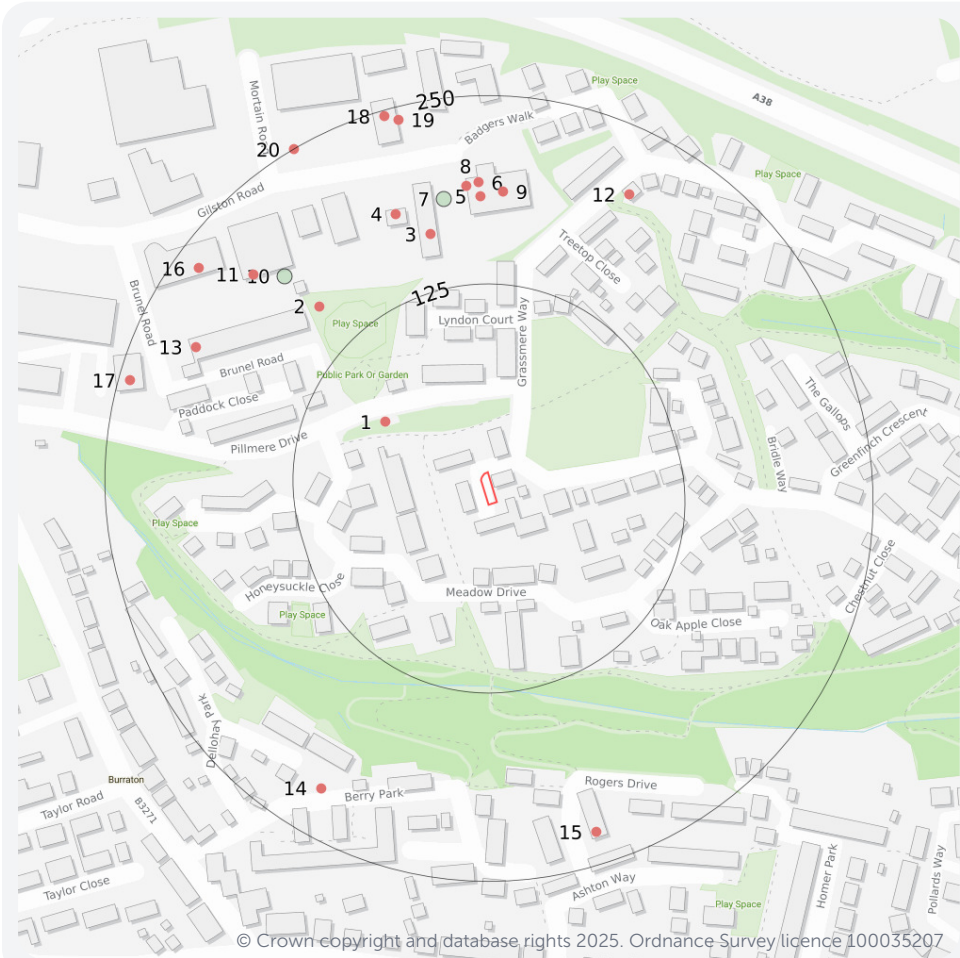
Acceptable risk

The data summarised in this section relates to current and recent commercial and industrial land uses and operations that could have the potential to cause ground contamination risks.

Section links

Back to section summary →

- Consultant's assessment → Current/recent land use →
- Past land use → Hydrogeology →
- Waste and landfill → Hydrology →



- Site Outline
- Search buffers in metres (m)
- Recent industrial land uses
- Pollution incidents

Recent industrial land uses

These records show details of businesses that have recently operated, or are currently operating in the area. Depending on the type of activities taking place, some of these businesses could present a risk of contamination.

ID	Distance	Direction	Company / Address	Activity	Category
1	74 m	NW	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities
2	156 m	NW	Saltash Industrial Estate - Cornwall, PL12	Business Parks and Industrial Estates	Industrial Features

Screening



ID	Distance	Direction	Company / Address	Activity	Category
3	163 m	N	Anderson's Garage - Units 4-6, Gilston Road, Saltash, Cornwall, PL12 6TW	Vehicle Repair, Testing and Servicing	Repair and Servicing
4	182 m	N	Keynon Canopy Slate & Stone - 6, Gilston Road, Saltash, Cornwall, PL12 6TW	Stone Quarrying and Preparation	Extractive Industries
5	183 m	N	N A A Engineering - Unit 8 Saltash Industrial Estate, Gilston Road, Saltash, Cornwall, PL12 6TW	Precision Engineers	Engineering Services
6	183 m	N	D B Autos Ltd - Unit 8, Saltash Industrial Estate, Gilston Road, Saltash, Cornwall, PL12 6TW	Vehicle Repair, Testing and Servicing	Repair and Servicing
8	184 m	N	South West Tyre Recycling Ltd - The Old Coach Yard, Gilston Road, Saltash, Cornwall, PL12 6TW	Recycling, Reclamation and Disposal	Recycling Services
9	186 m	N	Westcountry Fabrication Ltd - Unit 9, Saltash Industrial Estate, Gilston Road, Saltash, Cornwall, PL12 6TW	General Construction Supplies	Industrial Products
11	203 m	NW	Omega Print & Signs - Unit 6 Castle Buildings, Gilston Road, Saltash, Cornwall, PL12 6TW	Clothing, Components and Accessories	Consumer Products
12	207 m	NE	Chasing Waste - 12, Grassmere Way, Saltash, Cornwall, PL12 6YT	Waste Storage, Processing and Disposal	Infrastructure and Facilities
13	209 m	NW	BP Service Station - Saltash Industrial Estate, Brunel Road, Saltash, Cornwall, PL12 6LF	Petrol and Fuel Stations	Road and Rail
14	219 m	SW	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities
15	229 m	S	Specialist Print - 2, Rogers Drive, Saltash, Cornwall, PL12 6JP	Published Goods	Industrial Products
16	234 m	NW	K G S Carz - Car Sales at Front Unit 3b, Gilston Road, Saltash, Cornwall, PL12 6TW	Vehicle Repair, Testing and Servicing	Repair and Servicing
17	243 m	W	Underlay Direct - Unit 5 Burley Court, Pillmere Drive, Saltash, Cornwall, PL12 6FH	Carpets, Flooring, Rugs and Soft Furnishings	Consumer Products
18	246 m	N	Print Minor - Unit 3 Gwel Avon Business Park, Gilston Road, Saltash, Cornwall, PL12 6TW	Published Goods	Industrial Products
19	246 m	N	Rogers Blinds & Awnings Ltd - Unit 3 Gwel Avon Business Park, Gilston Road, Saltash, Cornwall, PL12 6TW	Curtains and Blinds	Consumer Products
20	250 m	NW	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities



This data is sourced from Ordnance Survey.

Pollution incidents

Environment Agency keep records of all major or significant pollution incidents that are known to have impacted the land, water or air. The location provided for these records may relate to the location of the incidents but may sometimes be recorded where the effects of the incident was reported.

ID	Distance	Direction	Incident Date	Land Impact	Water Impact	Pollutant
7	184 m	N	10/12/2002	Category 4 (No Impact)	Category 4 (No Impact)	Fumes
10	187 m	NW	01/08/2003	Category 3 (Minor)	Category 4 (No Impact)	Tyres:Vehicles and Vehicle Parts

This data is sourced from the Environment Agency/Natural Resources Wales.

Contaminated land

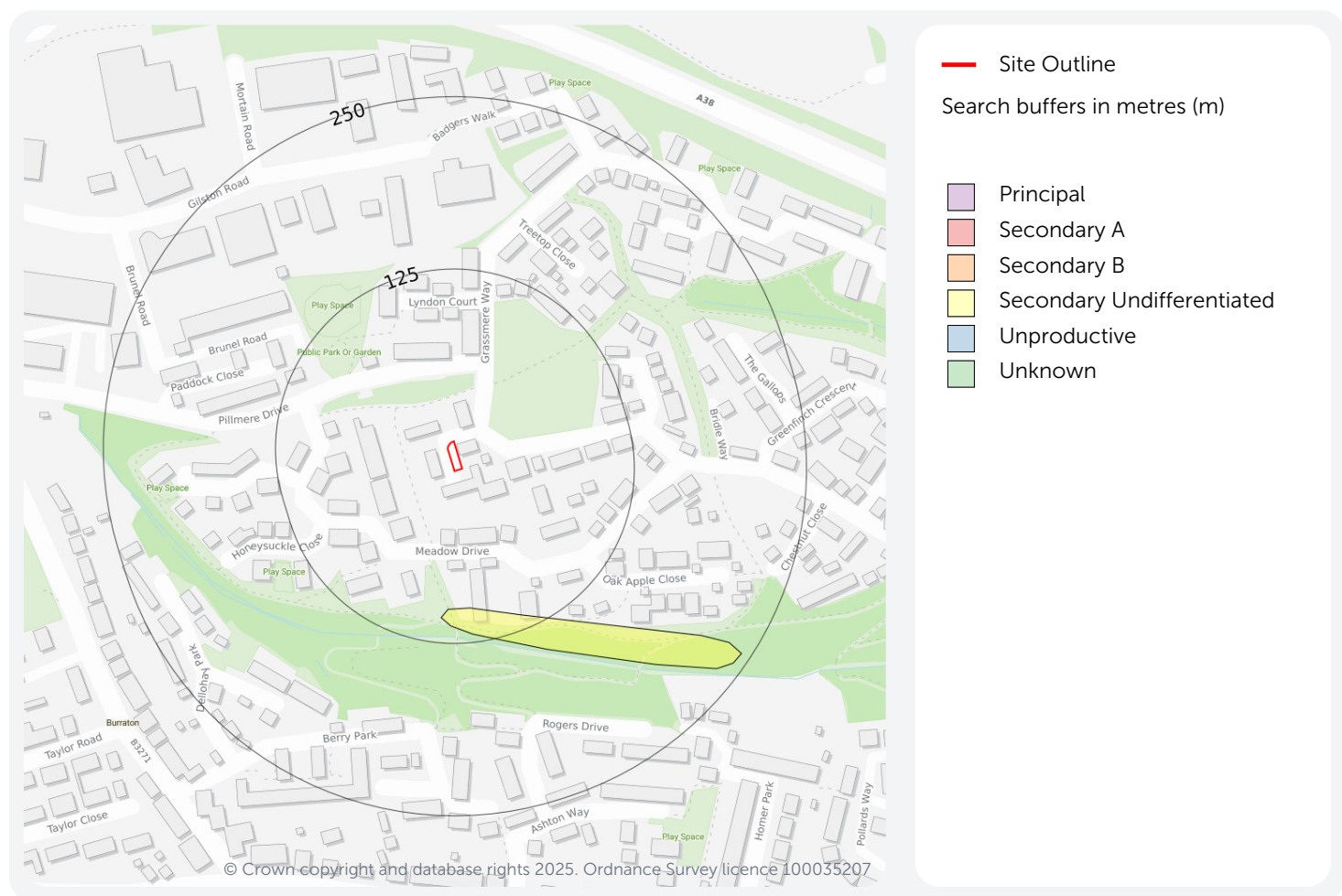
Superficial hydrogeology ?

The data summarised in this section relates to underground water resources (aquifers) within surface drift geology that may be sensitive to any ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



Aquifers within superficial geology

The Environment Agency/Natural Resources Wales and the British Geological Survey have assigned designations or types to the aquifers that exist within superficial geology. These designations reflect the importance of aquifers in terms of groundwater as a resource (eg drinking water supply) but also their role in supporting surface water flows and wetland ecosystems.

Principal - These are layers of rock or superficial deposits that usually provide a high level of water storage.

Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale.

Secondary B - Predominantly lower permeability layers which may store and yield limited amounts of groundwater.

Secondary Undifferentiated - Has been assigned in cases where it has not been possible to attribute either category A or B to a rock type.

Unproductive - These are rock layers with low permeability that have negligible significance for water supply.



Unknown - These are rock layers where it has not been possible to classify the water storage potential.

Distance	Direction	Designation
100 m	S	Secondary Undifferentiated

This data is sourced from the Environment Agency/Natural Resources Wales and the British Geological Survey.

Contaminated land

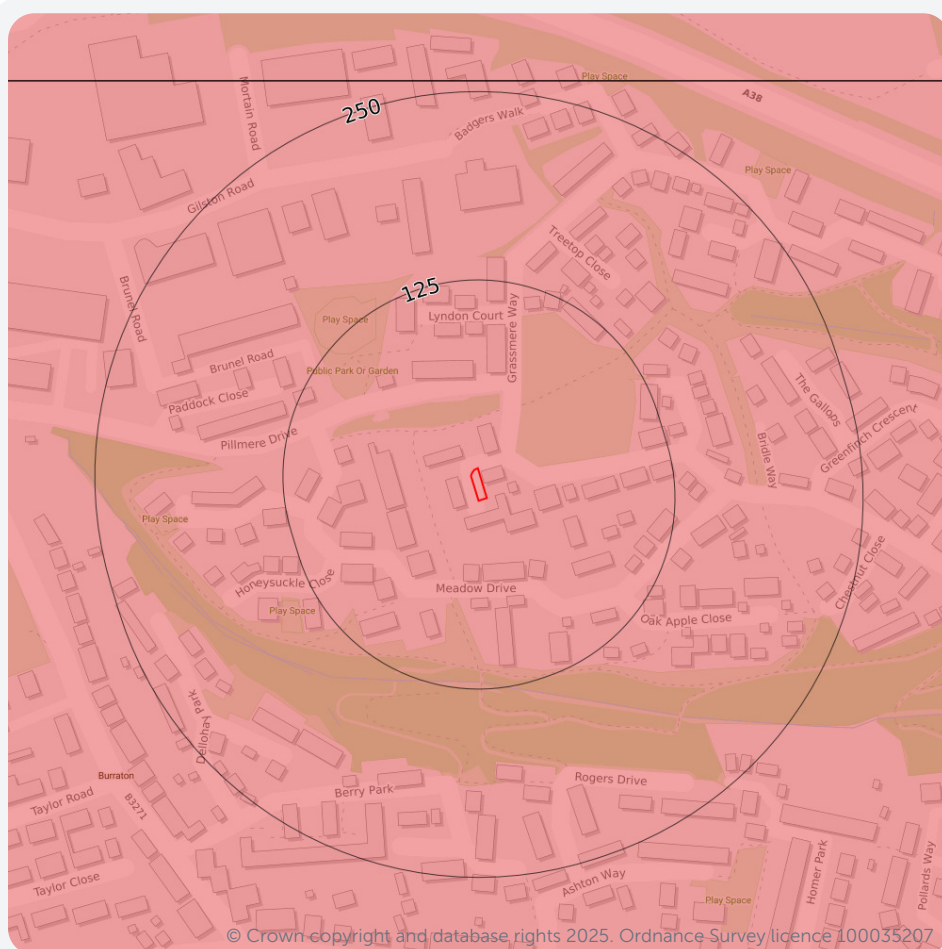
Bedrock hydrogeology ?

The data summarised in this section relates to underground water resources (aquifers) within bedrock geology that may be sensitive to any ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



— Site Outline

Search buffers in metres (m)

- Principal
- Secondary A
- Secondary B
- Secondary Undifferentiated
- Unproductive
- Groundwater abstraction licence (point)
- Groundwater abstraction licence (area)
- Groundwater abstraction licence (linear)

Aquifers within bedrock geology

The Environment Agency/Natural Resources Wales and the British Geological Survey have assigned designations or types to the aquifers that exist within bedrock geology. These designations reflect the importance of aquifers in terms of groundwater as a resource (eg drinking water supply) but also their role in supporting surface water flows and wetland ecosystems.

Principal - These are layers of rock or superficial deposits that usually provide a high level of water storage.

Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale.

Secondary B - Predominantly lower permeability layers which may store and yield limited amounts of groundwater.

Secondary Undifferentiated - Has been assigned in cases where it has not been possible to attribute either category A or B to a rock type.

Unproductive - These are rock layers with low permeability that have negligible significance for water supply.



Distance	Direction	Designation
0	on site	Secondary A

This data is sourced from the Environment Agency/Natural Resources Wales and the British Geological Survey.

Bedrock geology

Bedrock geology is a term used for the main mass of rocks forming the Earth and is present everywhere, whether exposed at the surface in outcrops or concealed beneath superficial deposits or water. This information comes from the BGS 1:50,000 Digital Geological Map of Great Britain, where available.

Description	BGS LEX Code	Rock Type
SALTASH FORMATION	SAH-SLAS	SLATE AND SILTSTONE

This data is sourced from British Geological Survey.



Contaminated land
Hydrology ?

The data summarised in this section relates to surface water resources such as rivers, lakes and ponds that may be sensitive to any ground contamination.

Section links

Back to section summary →

Consultant's assessment →

Past land use →

Waste and landfill →

Current/recent land use →

Hydrogeology →

Hydrology →



Water courses from Ordnance Survey

These are water features such as ponds, lakes, rivers and streams that have been identified by Ordnance Survey. These features may be sensitive to contamination.

Distance	Direction	Details
120 m	S	<p>Name:</p> <p>Type of water feature: Inland river not influenced by normal tidal action.</p> <p>Ground level: On ground surface</p> <p>Permanence: Watercourse contains water year round (in normal circumstances)</p>

Screening



Distance	Direction	Details
159 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
159 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
160 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
160 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
163 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
170 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
208 m	NE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
212 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
215 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
236 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
238 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)

This data is sourced from Ordnance Survey.



Flooding

Negligible

No significant concerns have been identified as a result of the flood risk searches. No action required.

River and coastal flooding

Very Low

Past flood events

Not identified

Groundwater flooding

Negligible

Flood storage areas

Not identified

Surface water flooding

Negligible

Floodscore™ insurance rating

Very Low

National Planning Policy Framework (NPPF)

Will any NPPF Flood Risk Assessment be required if the site is redeveloped?

[See overview](#)

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing developments should take advice from the emergency services when producing an evacuation plan for the development as part of the flood risk assessment.

Next steps

Flooding

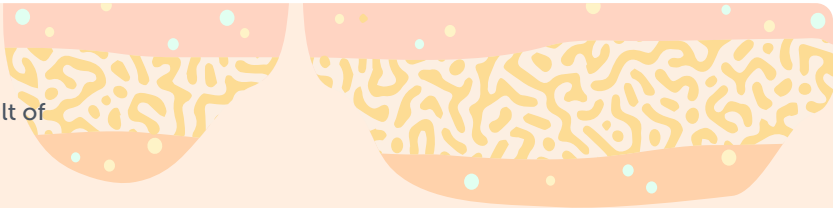
None required.



Ground stability

Not identified

No significant concerns have been identified as a result of the ground stability searches. No action required.



Natural ground stability

Low

Non-natural ground stability

Not identified

Next steps

Ground stability
None required.



ClimateIndex™

Future-focused property ratings summarising flood, subsidence and coastal erosion risks over 5 and 30 year periods, aligned with Bank of England reporting requirements.

Section links

Physical risks	→	Flooding	→
Ground stability	→	Transition risks	→

Physical risks

Negligible



Transition risks

Advice available



Next steps

Let's talk about climate

Groundsure has in-house experts and online resources that can help you:

- Check out our [ClimateIndex™ clauses](#)  here for actionable guidance on risks associated with climate change;
- Reach out to our in-house experts on info@groundsure.com  or 01273 257755.



ClimateIndex™

Physical risks ?

Negligible

Our ClimateIndex™ provides a climate score for your property, and projects changes in physical risks from flooding, natural ground stability and coastal erosion.

Section links

[Back to section summary](#) →

[Physical risks](#) →

[Flooding](#) →

[Ground stability](#) →

[Transition risks](#) →

Climate change could have a significant medium to longer term impact on your property, which may be increasingly considered by your lender if you are arranging a mortgage. Physical risks are those that can cause direct damage or loss to your property but they can also give rise to transition risks such as impacting on the ability to insure or mortgage the property.

The risks with the greatest impact on the overall ClimateIndex™ are positioned first in the list(s) below. Any risks that have not been identified at the site have been omitted.

A

5 years

Negligible

A

30 years

Negligible

Rating key



Negligible risk → High risk

The ClimateIndex™ (A-F) is an overall illustration of the potential impact from the physical risks covered in this assessment - flooding from numerous sources, ground stability and coastal erosion.



ClimateIndex™
Flooding ?

This section summarises the projected change in flood water depths at the site over time as a result of climate change.

Section links

Back to section summary →

- Physical risks → Flooding →
- Ground stability → Transition risks →

The baseline or current flood risk assessment on this property is based on climatic conditions today. If present, the associated flood maps (and other relevant datasets) are visualised in the flood risk section. However, climate change is expected to increase the frequency and severity of weather events that could increase the risk of flooding. Rising sea levels due to climate change could also contribute to increased flood risk in coastal properties.

Ambiental Risk Analytics provides flood risk data that can project the risk from river, coastal and surface water flooding in the future for a range of emissions scenarios (Low emissions - RCP 2.6, medium emissions - RCP 4.5, and high emission - RCP 8.5).

Groundsure uses this data, as well as other data assets within our ClimateIndex™ calculator to determine an overall assessment of climate change physical risks to the property. For example, the combined effect of ‘moderate’ assessments over multiple physical risks could result in a higher ClimateIndex™ overall than that of a single moderate assessment.

More information about our methodology and limitations is available here: knowledge.groundsure.com/methodologies-and-limitations.

Climate change scenario	River/coastal flood depth (cm)		Surface water flood depth (cm)	
	5 years	30 years	5 years	30 years
Low emissions	< 20	< 20	< 20	< 20
Medium emissions	< 20	< 20	< 20	< 20
High emissions	< 20	< 20	< 20	< 20

This data is sourced from Ambiental Risk Analytics.



ClimateIndex™

Ground stability ?

This section summarises the projected likelihood of increased ground stability risks from shrink swell clays at the site over time as a result of climate change.

Section links

Back to section summary →

Physical risks



Flooding



Ground stability



Transition risks



The British Geological Survey (BGS) has created data designed to show the likelihood of an increase in risk from shrink swell subsidence hazards as a result of climate change. When certain soils take in water they can swell, causing heave. Conversely, when these soils dry out they can shrink and cause subsidence. Climate change is likely to result in higher temperatures and therefore likely to cause periods of drought and an increase in shrink swell subsidence.

This data has been produced using the Met Office local projections to accurately model predicted rainfall, using the high emissions climate change scenario (RCP 8.5).

Groundsure uses this data, as well as other data assets within our ClimateIndex™ calculator to determine an overall assessment of climate change physical risks to the property. For example, the combined effect of 'moderate' assessments over multiple physical risks could result in a higher ClimateIndex™ overall than that of a single moderate assessment.

More information about our methodology and limitations is available here: knowledge.groundsure.com/methodologies-and-limitations.

Rainfall scenario	High rainfall		Average rainfall		Lower rainfall	
	5 years	30 years	5 years	30 years	5 years	30 years
Likelihood of increased risk	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely

This data is sourced from the British Geological Survey



ClimateIndex™

Transition risks ?

Transition risks can occur as a result of requirements or obligations to move towards a less polluting, greener economy. This section summarises information relating to any Energy Performance Certificates at the property.

Section links

[Back to section summary](#) →

[Physical risks](#) → [Flooding](#) →
[Ground stability](#) → [Transition risks](#) →

Energy Performance

Energy Performance Certificates (EPCs) rate the energy efficiency of buildings using grades from A+ to G, with 'A+' being the most efficient grade (this represents a 'Net Zero' non-domestic building) and 'G' the least efficient. They are designed to provide an estimate of energy costs associated with a building and an indication of how these can be reduced. When required, they should be made available to any prospective buyer or tenant. They are valid for exactly 10 years after the date lodged by the assessor. If your certificate is out of date it will need to be renewed when you wish to sell a property or let to a new tenant.

i We have not been able to find an EPC relating to the property.

There are a number of potential reasons why a valid EPC has not been found for the property:

- The property is an undeveloped plot and no buildings exist;
- An EPC is not required at the property. Examples may include listed buildings and places of worship but full details can be found [here](#)
- An EPC is not required for the building(s) on the site;
- The EPC for the property is not yet recorded in the published database. There can be a delay of up to 2 months of a new EPC being lodged and appearing within our report. In the meantime, you can visit gov.uk's [Find an energy certificate](#) service to search for the EPC for more detail;
- We have been unable to match the address provided when ordering this report to the address on the EPC.

Consideration should be given to the feasibility and cost of any improvement works that are recommended in the EPC, if any exemptions apply and also to when a new assessment might be required.

EPC calculations are partly based on observations made by the EPC assessor when visiting a property and partly on data and assumptions using the age and type of property. This means the EPC band may change irrespective of any improvement works undertaken, due to, for example, differing access or documentation being provided to the assessor during the visit. Additionally, the methodologies underpinning EPC calculations are updated periodically.

Leasing and energy efficiency regulations

Currently, the Minimum Energy Efficiency Standard (MEES) Regulations require all privately leased non-domestic properties being let in England and Wales to have a minimum EPC rating of E. Fines of between £10K-£150K may be issued per tenancy within a building that does not meet these requirements.

If the property has an EPC rating of F or G, the landlord should either improve the property to at least an EPC rating of E, or register an exemption, should one apply. [Click here](#) for more detail on the types of exemptions available and how to register for them.

Green leases are agreements that put obligations on both the tenant and the landlord to improve the energy efficiency and overall environmental impact of a commercial property. More information relating to green leases can be found [here](#) .

Current government guidelines around future regulations or requirements are unclear. However, given the general aspiration to move towards a net zero economy, tightening of the requirements imposed around energy efficiency should be anticipated and considered in the future.





Radon ?

Identified

The property is in a radon affected area. This could mean that inhabitants are at risk from the harmful effects of radon. The percentage of homes estimated to be affected by radon in your local area is between 5% and 10%.

Section links

Radon →

Next steps

Radon

The property is in an area where elevated radon levels are expected to be found in 5-10% of properties.

- Employers are required by law to assess any risks to their staff while at work. We recommend checking your requirements here <https://www.ukradon.org/information/hands>;
- If the property was constructed after 2008 radon protection measures may have been installed during construction. We recommend checking with the Building Control department at the local authority to determine this;
- Enquire with the seller if they have completed a 3 month radon test and what the results were. If they have not had one completed, carry out a radon test at the property. The most accurate testing kits run for 3 months and can be obtained from UK Radon <https://www.ukradon.org/services/orderworkplace>;
- Further information is available here <https://knowledge.groundsure.com/searches-radon>.



Radon ?

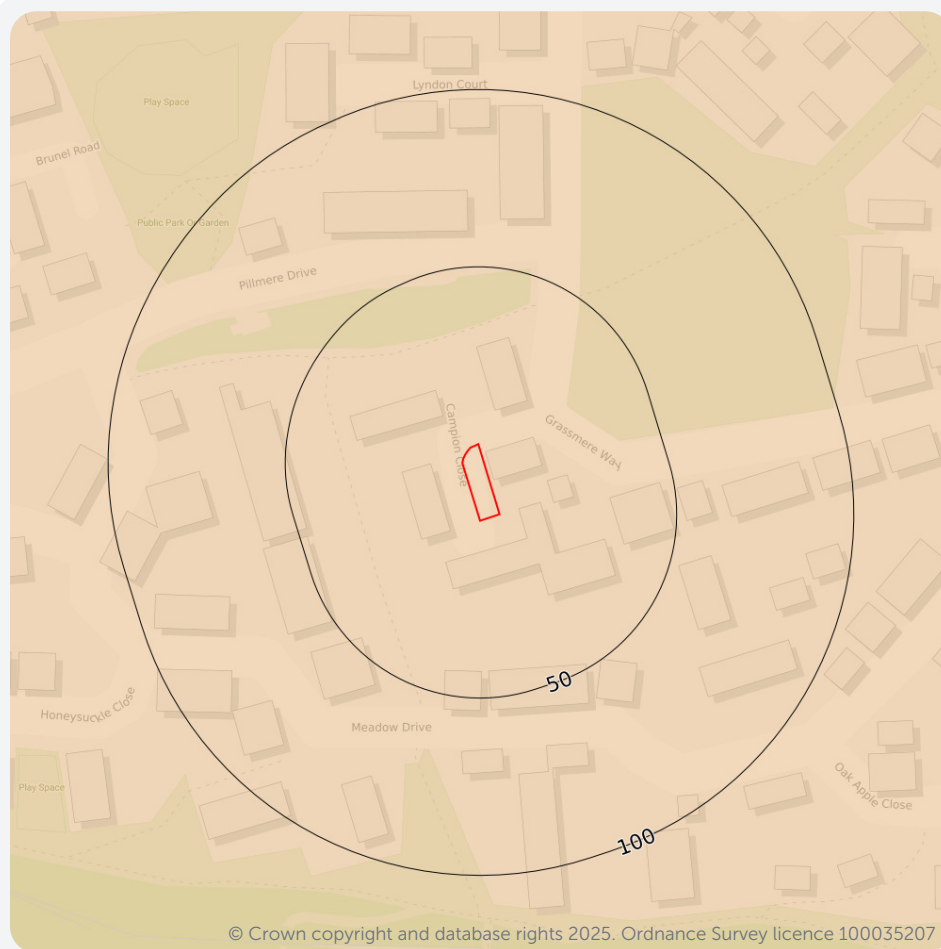
Identified

The property lies within a radon affected area.

Section links

[Back to section summary](#) →

[Radon](#) →



— Site Outline

Search buffers in metres (m)

- Greater than 30%
- Between 10% and 30%
- Between 5% and 10%
- Between 3% and 5%
- Between 1% and 3%
- Less than 1%

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The property is in a radon affected area, meaning there is an increased risk that properties will contain elevated levels of radon.

In order to determine if there is a problem at your property, a radon measurement in the building must be taken. Access to a testing service and further information on radon is available from UK Health Security Agency (UKHSA) or www.ukradon.org.

Radon is a colourless, odourless radioactive gas present in all areas of the United Kingdom, usually at levels that pose a negligible risk. However, the property is situated in an area where levels of radon can be much higher and pose a health risk. High levels of radon can cause lung cancer, particularly for smokers and ex-smokers. The higher the level and the longer the period of exposure, the greater the risk.

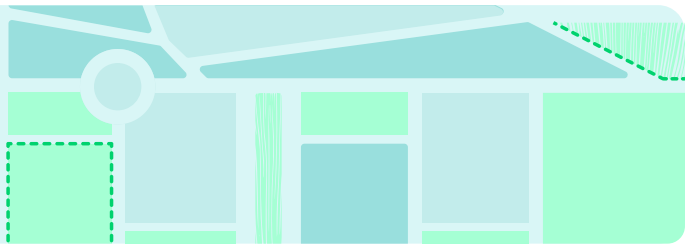
This data is sourced from the British Geological Survey/UK Health Security Agency.



Planning constraints

Not identified

No protected areas have been identified within 250 metres of the property. Protected areas include nature reserves and other conservation areas.



Next steps

Planning constraints
None required.



Energy ?

Identified

The property has been identified to lie within the search radius of one or more energy features detailed below.

Section links

Wind and solar → Energy →

Oil and gas

No historical, active or planned wells or extraction areas have been identified near the property.

Oil and gas areas

Not identified

Oil and gas wells

Not identified

Wind and solar

Our search of existing and planned renewable wind and solar infrastructure has identified results.

Planned multiple wind turbines

Identified



Planned single wind turbines

Identified



Existing wind turbines

Identified



Proposed solar farms

Identified



Existing solar farms

Identified



Energy Infrastructure

Our search of major energy transmission or generation infrastructure and nationally significant infrastructure projects has identified results.

Power stations

Identified



Energy infrastructure

Not identified

Projects

Not identified

Next steps

Wind

Existing or proposed wind installations have been identified within 10km.

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property



Next steps continued


Solar

Existing or proposed solar installations have been identified within 5km of the property.

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

Power stations

One or more Power Stations have been identified within 5km of the property.

- visit the power station operator's website for further information. Many power stations have large amounts of information on their local impacts available on the operator's website
- additionally, you could contact the Air Quality team of the Local Authority which may hold additional information regarding any air quality impacts in the area
- if a nuclear installation has been identified, consider visiting www.onr.org.uk/regulated-sites.htm  for further information on the site

Energy

Wind and solar ?

Identified

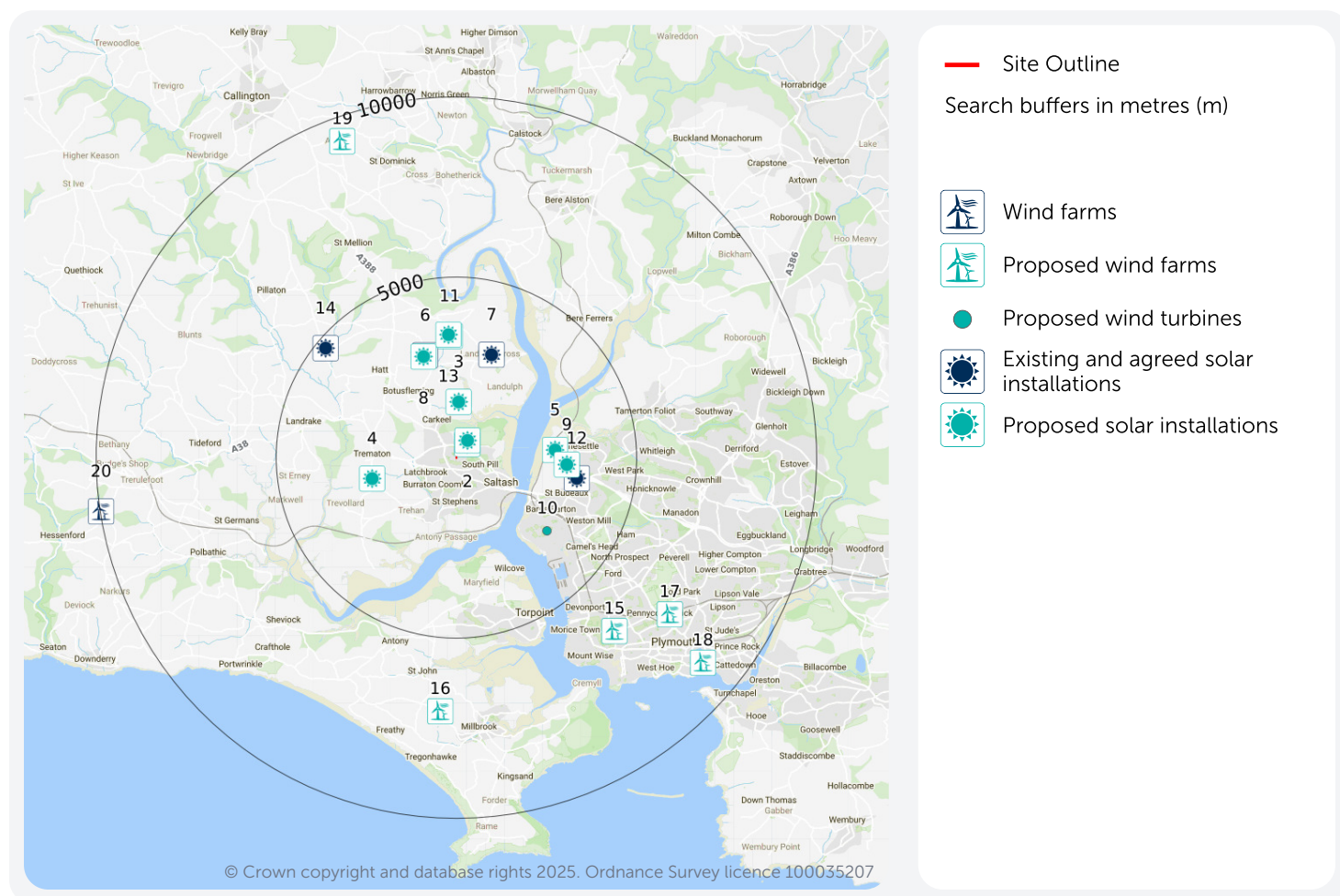
The data summarised in this section relates to the location of current and planned wind farms/turbines and solar farms.

Section links

[Back to section summary](#) →

[Wind and solar](#) →

[Energy](#) →



Wind farms

An active wind farm, group of turbines or individual wind turbine has been identified within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.



ID	Distance	Direction	Details
20	9-10 km	W	<p>Site Name: Bake Sawmills, Bake Lane, Trerulefoot, South West, PL12 5BW</p> <p>Operator Developer: Murex Energy Ltd</p> <p>Status of Project: Operational</p> <p>Type of project: Onshore</p> <p>Number of Turbines: 1</p> <p>Turbine Capacity: 0.5MW</p> <p>Total project capacity: 0.5</p> <p>Approximate Grid Reference: 231827, 58240</p>

This data is sourced from the UK Wind Energy Database supplied by Renewable UK. Groundsure recommends further independent research with Renewable UK of any sites of interest to determine exact locations and details of the projects.

Proposed wind farms

A wind farm or group of turbines or individual wind turbine has been proposed within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused, may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.

ID	Distance	Direction	Details
15	6-7 km	SE	<p>Site Name: Kings Road, Devonport, Plymouth, Plymouth, Devon, PL1 5QG</p> <p>Planning Application Reference: N/A</p> <p>Type of Project: Wind Turbines</p> <p>Application Date: 2003-01-15</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises the installation and construction of two wind turbines. The turbines are to be mounted on the science and technology block.</p> <p>Approximate Grid Reference: 246084, 54920</p>
16	7-8 km	S	<p>Site Name: Land At Mendennick St John Road, Millbrook, Torpoint, Cornwall, PL10</p> <p>Planning Application Reference: PA12/12027</p> <p>Type of Project: 3 Wind Turbines</p> <p>Application Date: 2012-12-21</p> <p>Planning Stage: Early Planning Detail Plans Withdrawn</p> <p>Project Details: Scheme comprises construction up to 25 year operation and subsequent decommissioning of up to 3 wind turbines, each with a maximum overall tip height of up to 81m above ground level, together with access tracks, temporary works, hardstanding areas, elect</p> <p>Approximate Grid Reference: 241247, 52692</p>
17	7-8 km	SE	<p>Site Name: 28 - 29 Central Park Avenue, Milehouse, Plymouth, Plymouth, Devon, PL4 6NE</p> <p>Planning Application Reference: 06/00547/FUL</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2006-03-04</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises installation of two wind turbines on roof of central park towers.</p> <p>Approximate Grid Reference: 247622, 55384</p>



ID	Distance	Direction	Details
18	8-9 km	SE	<p>Site Name: National Marine Aquarium, Rope Walk, The Barbican, Plymouth, Plymouth, Devon, PL4 0LF</p> <p>Planning Application Reference: 05/01630/FUL</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2005-09-12</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises proposed installation of external exhibits and 2 wind turbines.</p> <p>Approximate Grid Reference: 248542, 54040</p>
19	9-10 km	N	<p>Site Name: West Coombe Park, Ashton, Callington, Cornwall, Cornwall, PL17 8AG</p> <p>Planning Application Reference: PA13/03979</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2013-05-07</p> <p>Planning Stage: Early Planning Detail Plans Refused</p> <p>Project Details: Scheme comprises installation of 2 micro scale turbine (14.97m to hub, 5.6m diameter blades).</p> <p>Approximate Grid Reference: 238524, 68512</p>

This information is derived from planning data supplied by Serac Tech and Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for wind farms with multiple turbines within 10,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.

Proposed wind turbines

Planning applications for individual wind turbines have been proposed within 5,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.

ID	Distance	Direction	Details
10	3-4 km	SE	<p>Site Name: Tamar View Cop-Op Store, 171 Poole Park Road, Plymouth, Plymouth, Devon, PL5 1DD</p> <p>Planning Application Reference: 07/00038/FUL</p> <p>Type of Project: Wind Turbine</p> <p>Application Date: 2007-01-08</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises installation of wind-powered generator (wind turbine to be sited on north elevation of building).</p> <p>Approximate Grid Reference: 244221, 57702</p>

This information is derived from planning data supplied by Serac Tech and Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for single wind turbines only, within 5,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused, may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.



Existing and agreed solar installations

There is an operational or planned solar photovoltaic farm or smaller installation located near the property.

Please note this will not include small domestic solar installations. See below for details on installed capacity, operating company and the status of the project on a given date.

ID	Distance	Direction	Address	Details	
6	2-3 km	N	West Kingsmill Farm Solar Park, West Kingsmill Farm Kingsmill Park Road From Leigh Lane To Kingsmill Lake And Farm Hatt Saltash Cornwall, PL12 6NB	Contractor: Inazin (previously Low carbon Solar Partners) LPA Name: Cornwall Capacity (MW): 1.6	Application Date: 17/02/2011 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 31/03/2014
7	3-4 km	N	North Wayton Farm, Landulph Saltash Cornwall, PL12 6QQ	Contractor: KS SPV21 Ltd LPA Name: Cornwall Capacity (MW): 5	Application Date: 09/10/2012 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 31/03/2014
12	3-4 km	E	Ernesettle Solar Farm, Site to the west of, Ernesettle Crescent, Plymouth, Devon, PL5 2ET	Contractor: PEC Renewables LPA Name: Plymouth Capacity (MW): 4.1	Application Date: 22/07/2015 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 23/03/2016
14	4-5 km	NW	Howton Farm, Howton Farm Pillaton Saltash Cornwall, PL12 6QY	Contractor: Low carbon Solar Partners LPA Name: Cornwall Capacity (MW): 4.4	Application Date: 14/01/2011 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 22/07/2011

The solar installation data is supplied by the Department for Business, Energy & Industrial Strategy and is updated on a monthly basis.

Proposed solar installations

There is a planning permission application relating to a solar farm or smaller installation near to the property.

Please note this will not include small domestic solar installations and that one site may have multiple applications for different aspects of their design and operation. Also note that the presence of an application for planning permission is not an indication of permission having been granted. Please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken. See below for details of the proposals.



ID	Distance	Direction	Address	Details	
1	474 m	NE	China Fleet Country Club Ltd, Pill Lane, North Pill, Saltash, Cornwall, PL12 6LJ	Applicant name: Dean Bennett Application Status: Pre-Application Publicly Available Application Date: 30/05/2024 Application Number: PA24/00625/PREAPP	Pre application advice for construction and installation of Ground Mounted Solar Array with associated fencing, inverters, transformers, substation and cabling
2	474 m	NE	Land South West Of China Fleet Country Golf, Pill Lane, North Pill, Saltash, Cornwall, PL12 6LQ	Applicant name: Mr Gordon Hannah, China Fleet Trust Application Status: Full application Application Date: 08/10/2024 Application Number: PA24/07255	The erection of a fixed ground mounted Solar Photovoltaic array with an expected capacity of 600kWp of generating capacity, a transformer substation, inverters, cable run, fencing, biodiversity measures and ancillary works.
3	1-2 km	N	Pineapple Farm, Moditonham, Botus Fleming, Saltash, Cornwall, PL12 6NN	Applicant name: Michael Tapley Application Status: Awaiting decision Application Date: 10/01/2022 Application Number: PA21/12138	34Kw ground mounted pv solar array for domestic use
4	2-3 km	W	Alma Cottage, Crumble Tor Lane, Trematon, Cornwall	Applicant name: Mrs L Lidstone Application Status: Full application Application Date: 22/01/2013 Application Number: PA13/00591	Installation of 50kw photovoltaic panels on a ground mount system.
5	2-3 km	E	Site adjacent to Enesettle Lane, Plymouth, PL5 2SA	Applicant name: PEC Renewables Ltd Application Status: - Application Date: 18/06/2015 Application Number: 15/01135/ESR10	Request for screening opinion for a solar photovoltaic farm capable of generating up to approximately 4MWP
8	3-4 km	N	West Kingsmill Road, Landulph, Saltash, Cornwall, PL12 6NB	Applicant name: West Kingsmill Solar Limited Application Status: Application under Section 73 of TCP Act Application Date: 29/04/2022 Application Number: PA22/03775	Proposed 1.6 MW solar PV development with variation of condition 17 of decision PA11/01235 dated 18.04.2011

Screening



ID	Distance	Direction	Address	Details	
9	3-4 km	E	Grazing Land, Ernesettle Lane, Plymouth, PL5 2DE	Applicant name: Plymouth Energy Company Application Status: Minor Pre Application Enquiry Application Date: 05/03/2024 Application Number: 24/00249/MOR	Pre-application to develop a solar farm on an area of land approximately 7.5 acres in size
11	3-4 km	N	North Wayton Farm, Landulph, Saltash, Cornwall, PL12 6QQ	Applicant name: Kunowsky Energy Ltd Application Status: Application under Section 73 of TCP Act Application Date: 19/10/2015 Application Number: PA15/09723	Variation of condition 11 attached to planning decision PA12/09275 (Provision of photovoltaic solar park and ancillary infrastructure within a site area of 16.79ha) in order to allow for a 5 year extension to the lifetime of the solar farm
13	3-4 km	N	North Wayton Farm, Landulph, Saltash, Cornwall, PL12 6QQ	Applicant name: Kunowsky Energy Ltd Application Status: First amendment to planning permission Application Date: 13/07/2016 Application Number: PA16/06582	Non-material amendment for retention of a waterless, composting toilet and minor amendment to swale design adjacent to the DNO substation to (PA15/09723) variation of condition 11 attached to planning decision PA12/09275 (Provision of photovoltaic solar park and ancillary infrastructure within a site area of 16.79ha) in order to allow for a 5 year extension to the lifetime of the solar farm.

This data is sourced from Serac Tech and Glenigan.

Energy

Energy infrastructure ?

Identified

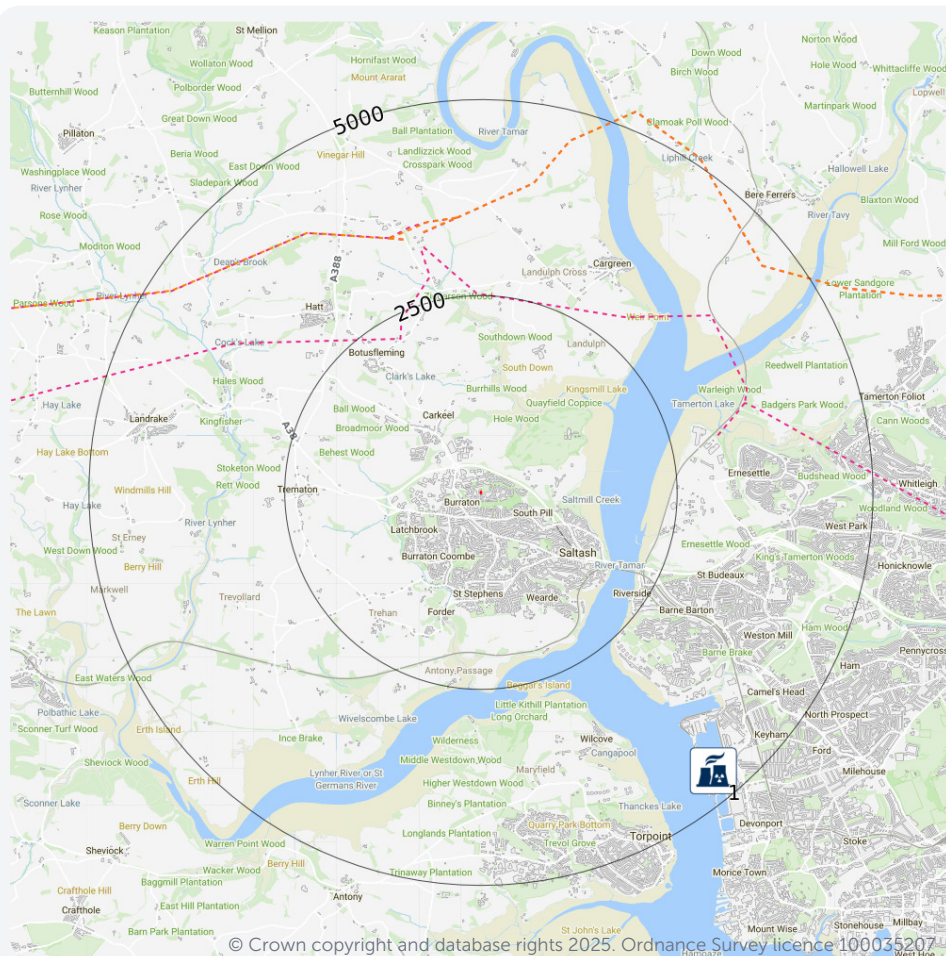
The data summarised in this section relates to the location of large energy infrastructure such as power stations, transmission lines or proposed large energy developments.

Section links

[Back to section summary](#) →

[Wind and solar](#) →

[Energy](#) →



Site Outline

Search buffers in metres (m)

- Power stations
- Nuclear sites
- Gas sites
- Electricity substations
- Energy development projects
- Gas pipelines
- Electricity Lines
- Electricity Cable
- Electricity transmission lines and pylons


Nuclear installations

There is, or is planned to be, a nuclear installation within 4617m of the property. It may be existing, decommissioned or planned. Existing nuclear power stations may be in 'Operational', 'Defueling' or 'Decommissioning' states.

ID	Distance	Direction	Operator	Parent Company	Site Name	Location	Type of Site
1	4-5 km	SE	Devonport Royal Dockyard Limited (DRDL)	Babcock International Group	Devonport Royal Dockyard- Plymouth	Plymouth	Defence

Screening



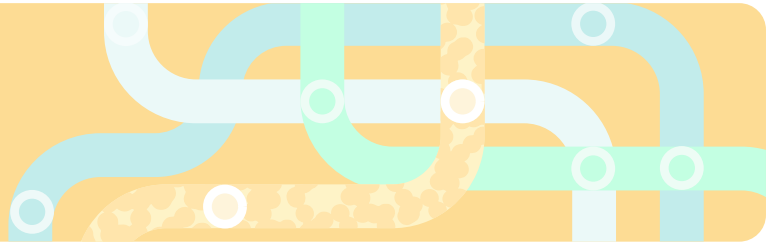
This information is gathered from a combination of sources. Sources include the Health and Safety Executive, the Nuclear Decommissioning Authority, the National Infrastructure Planning Programme and the Nuclear Advanced Manufacturing Centre. If the existence of a nuclear installation may have a material impact with regard to the decision to purchase the property, Groundsure recommends making independent, thorough enquiries with the Office for Nuclear Regulation. Further information can be found at <https://www.onr.org.uk/register-of-nuclear-site-licences> .



Transportation ?

Not identified

The property has not been identified to lie within the specified distance of one or more of the transportation features detailed below.



HS2

No results for Phase 1 or Phase 2 of the HS2 project (including the 2016 amendments) have been identified within 5km of the property. However, HS2 routes are still under consultation and exact alignments may change in the future.

Visual assessments are only provided by Groundsure if the property is within 2km of Phase 1 and 2a. Other assessments may be available from HS2.

HS2 route

Not identified

HS2 safeguarding

Not identified

HS2 stations

Not identified

HS2 depots

Not identified

HS2 noise

Not assessed

HS2 visual impact

Not assessed

Crossrail

The property is not within 250 metres of the Crossrail 2 project.

Crossrail 2 route

Not identified

Crossrail 2 stations

Not identified

Crossrail 2 worksites

Not identified

Crossrail 2 safeguarding

Not identified

Crossrail 2 headhouse

Not identified

Other railways

The property is not within 250 metres of any active or former railways, subway lines, DLR lines, subway stations or railway stations.

Active railways and tunnels

Not identified

Historical railways and tunnels

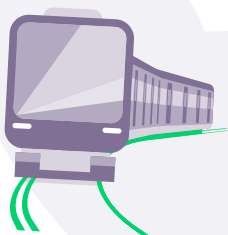
Not identified

Railway and tube stations

Not identified

Underground

Not identified



Next steps

None required.



Datasets searched

This is a full list of the data searched in this report. If we have found results of note we will state "Identified". If no results of note are found, we will state "Not identified". Our intelligent filtering will hide "Not identified" sections to speed up your workflow.

Contaminated Land	
Former industrial land use (1:10,560 and 1:10,000 scale)	Identified
Former tanks	Identified
Former energy features	Identified
Former petrol stations	Not identified
Former garages	Identified
Former military land	Not identified
Former landfill (from Local Authority and historical mapping records)	Not identified
Waste site no longer in use	Not identified
Active or recent landfill	Not identified
Former landfill (from Environment Agency Records)	Not identified
Active or recent licensed waste sites	Identified
Recent industrial land uses	Identified
National Geographic Database (NGD) - Current or recent tanks	Not identified
Current or recent petrol stations	Not identified
Dangerous or explosive sites	Not identified
Hazardous substance storage/usage	Not identified
Sites designated as Contaminated Land	Not identified
Historical licensed industrial activities	Not identified
Current or recent licensed industrial activities	Not identified
Local Authority licensed pollutant release	Not identified
Pollutant release to surface waters	Not identified
Pollutant release to public sewer	Not identified
Dangerous industrial substances (D.S.I. List 1)	Not identified
Contaminated Land	
Dangerous industrial substances (D.S.I. List 2)	Not identified
Pollution incidents	Identified
Superficial hydrogeology	
Aquifers within superficial geology	Identified
Superficial geology	Not identified
Bedrock hydrogeology	
Aquifers within bedrock geology	Identified
Groundwater abstraction licences	Not identified
Bedrock geology	Identified
Source Protection Zones and drinking water abstractions	
Source Protection Zones	Not identified
Source Protection Zones in confined aquifer	Not identified
Drinking water abstraction licences	Not identified
Hydrology	
Water courses from Ordnance Survey	Identified
Surface water abstractions	Not identified
Flooding	
Risk of flooding from rivers and the sea	Not identified
Flood storage areas: part of floodplain	Not identified
Historical flood areas	Not identified
Reduction in Risk of Flooding from Rivers and Sea due to Defences	Not identified
Flood defences	Not identified



Flooding

Surface water flood risk	Not identified
Groundwater flooding	Not identified
Ambiental FloodScore™ insurance rating	Not identified
Flood map for planning	Not identified

Natural ground subsidence

Natural ground subsidence	Not identified
Natural geological cavities	Not identified

Non-natural ground subsidence

Coal mining	Not identified
Non-coal mining areas	Not identified
Non-coal mining	Not identified
Mining cavities	Not identified
Infilled land	Not identified
Cheshire Brine	Not identified

Climate change

Flood risk (5 and 30 Years)	Identified
Ground stability (5 and 30 Years)	Identified
Complex cliffs	Not identified
Projections with active management or intervention measures in place	Not identified
Projections with no active management plan or intervention	Not identified

Radon

Radon	Identified
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Planning constraints

Sites of Special Scientific Interest	Not identified
Internationally important wetland sites (Ramsar Sites)	Not identified

Planning constraints

Special Areas of Conservation	Not identified
Special Protection Areas (for birds)	Not identified
National Nature Reserves	Not identified
Local Nature Reserves	Not identified
Designated Ancient Woodland	Not identified
Green Belt	Not identified
World Heritage Sites	Not identified
Areas of Outstanding Natural Beauty	Not identified
National Parks	Not identified
Conservation Areas	Not identified
Listed Buildings	Not identified
Certificates of Immunity from Listing	Not identified
Scheduled Monuments	Not identified
Registered Parks and Gardens	Not identified

Oil and gas

Oil or gas drilling well	Not identified
Proposed oil or gas drilling well	Not identified
Licensed blocks	Not identified
Potential future exploration areas	Not identified

Wind and solar

Wind farms	Identified
Proposed wind farms	Identified
Proposed wind turbines	Identified
Existing and agreed solar installations	Identified
Proposed solar installations	Identified

Energy

Electricity transmission lines and pylons	Not identified
National Grid energy infrastructure	Not identified

Screening



Energy	
Power stations	Not identified
Nuclear installations	Identified
Large Energy Projects	Not identified



Appendix



Contaminated land

Page 3 →

Acceptable risk

Next steps

Groundsure considers there to be an acceptable level of risk at the site from contaminated land liabilities.

If you require further advice, please contact our customer services team on 01273 257 755 or e-mail at info@groundsure.com.



Flooding

Page 19 →

Negligible

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing developments should take advice from the emergency services when producing an evacuation plan for the development as part of the flood risk assessment.



ClimateIndex™

Page 21 →

Negligible

Next steps

Let's talk about climate

Groundsure has in-house experts and online resources that can help you:

- Check out our [ClimateIndex™ clauses](#) [↗](#) here for actionable guidance on risks associated with climate change;
- Reach out to our in-house experts on info@groundsure.com [↗](#) or 01273 257755.



Radon

Page 26 →

Identified

Next steps



Next steps continued

Radon

The property is in an area where elevated radon levels are expected to be found in 5-10% of properties.

- Employers are required by law to assess any risks to their staff while at work. We recommend checking your requirements here <https://www.ukradon.org/information/hands>;
- If the property was constructed after 2008 radon protection measures may have been installed during construction. We recommend checking with the Building Control department at the local authority to determine this;
- Enquire with the seller if they have completed a 3 month radon test and what the results were. If they have not had one completed, carry out a radon test at the property. The most accurate testing kits run for 3 months and can be obtained from UK Radon <https://www.ukradon.org/services/orderworkplace>;
- Further information is available here <https://knowledge.groundsure.com/searches-radon>.



Energy

Page 29 →

Identified

Next steps

Wind

Existing or proposed wind installations have been identified within 10km.

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property

Solar

Existing or proposed solar installations have been identified within 5km of the property.

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

Power stations

One or more Power Stations have been identified within 5km of the property.

- visit the power station operator's website for further information. Many power stations have large amounts of information on their local impacts available on the operator's website
- additionally, you could contact the Air Quality team of the Local Authority which may hold additional information regarding any air quality impacts in the area
- if a nuclear installation has been identified, consider visiting www.onr.org.uk/regulated-sites.htm for further information on the site





Methodologies and limitations

Groundsure's methodologies and limitations are available here: knowledge.groundsure.com/methodologies-and-limitations

Data providers

Groundsure works with respected data providers to bring you the most relevant and accurate information in your Screening report. To find out who they are and their areas of expertise see www.groundsure.com/sources-reference .

Conveyancing Information Executive and our terms & conditions

IMPORTANT CONSUMER PROTECTION INFORMATION

This search has been produced by Groundsure Ltd. Groundsure adheres to the Conveyancing Information Executive Standards.

In addition to The Property Ombudsman (TPO) redress scheme covering consumers, TPO will also provide redress to small businesses (including Charities and Trusts) and where the customer meets the following criteria:

- a small business (or group of companies) with an annual turnover of less than £3 million;
- a charity with an annual income of less than £3 million;
- a Trust with a net asset value of less than £3 million.

Complaints Advice

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure.

If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award up to £5,000 to you if the Ombudsman finds that you have suffered actual financial loss and/or aggravation, distress or inconvenience as a result of your search provider failing to keep to the Standards.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs.

COMPLAINTS PROCEDURE: If you want to make a complaint, we will:

- acknowledge it within 5 working days of receipt
- normally deal with it fully and provide a final response, in writing, within 20 working days of receipt
- liaise, at your request, with anyone acting formally on your behalf

Complaints should be sent to:

Operations Director, Groundsure Ltd, Nile House, Nile Street, Brighton, BN1 1HW. Tel: 01273 257 755.

Email: info@groundsure.com

If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman scheme (TPOs): Tel: 01722 333306, E-mail: admin@tpos.co.uk

We will co-operate fully with the Ombudsman during an investigation and comply with their final decision.

Groundsure's Terms & Conditions can be viewed here: www.groundsure.com/terms-and-conditions-april-2023/

All of the advice and reports that Groundsure produces are covered by a comprehensive Remediation Contribution policy to ensure customers are protected, see www.groundsure.com/remediation for full details.

Information Classification: CONTROLLED

17/09/2025

My ref: SJ/gc/SX 4159

Dear Sirs,

LAND ADJACENT TO 3 CAMPION CLOSE, PILLMERE, SALTASH, PL12 6XN

Further to your email, I attach a 1:1,250 @ A4 scale plan showing coloured the extent of the publicly maintainable highway, except for any areas coloured grey or orange, together with a key to the colouring.

I trust the above and attachment will help clarify matters for all concerned. This information is provided subject to any evidence to the contrary, which may become available and be brought to the attention of the Council in the future.

If any further extent is required, an additional request will need to be submitted via our offices, specifying the missing areas of interest, for referral to Cormac to make an official determination. Cormac will then charge their fee for this service as appropriate.

Kind regards

Simon

Simon Jones | Technical Officer | Cornwall Council simon.jones@cornwall.gov.uk |
Tel: 01872 323888 | Tel Internal Only: 493888 www.cornwall.gov.uk | 'Onen hag oll'

Room 2B, Pydar House, Pydar Street, Truro, TR1 1XU.

Key

Trunk Roads (A30/A38)

'A' Roads & Adjoining Footways

'B' Roads & Adjoining Footways

'C' Roads & Adjoining Footways

Unclassified Roads & Adjoining Footways

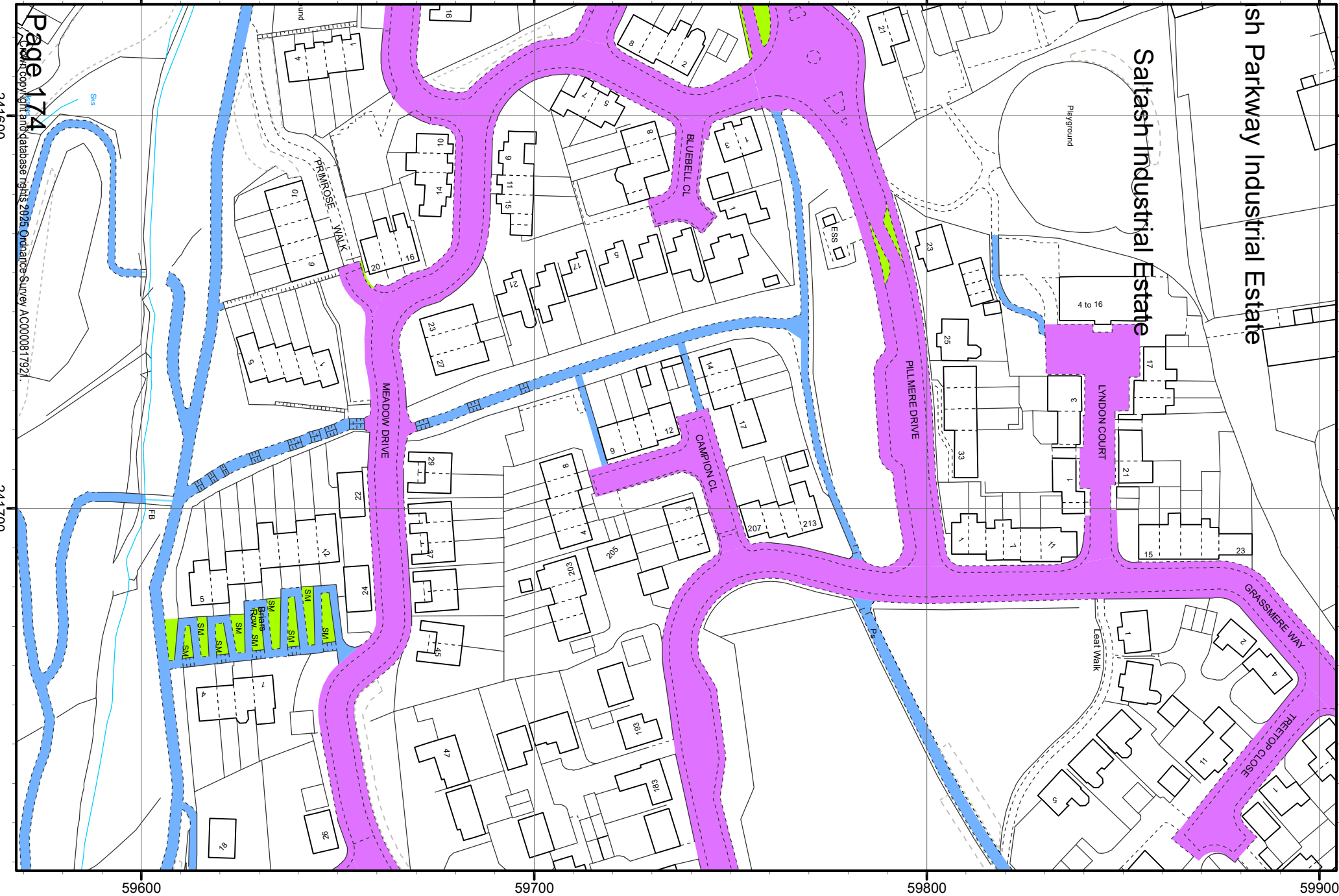
Footways

Publicly Maintained Verges

Non Maintained Public Highway

Unknown

Memo's



Scale 1:1,250 @A4

241700

North Arrow
SX4159



Wheal Jane Consultancy
Old Mine Offices
Wheal Jane
Baldhu, Truro
Cornwall, TR3 6EE



Archival (Desktop) Mining Search

Mining Risk: Low

Address: Land adjacent to
3 Campion Close
Pillmere
Saltash
Cornwall
PL12 6XN

Client: X-Press Legal Services
The Hill House
St Martins Road
Looe
Cornwall
PL13 1LP

Your Ref.:

Our Ref.: MS47629

Date: 18 September 2025

01872 560 200
consultancy@wheal-jane.co.uk



Low Risk

Dear Sirs,

Re: Land adjacent to 3 Campion Close, Pillmere, Saltash, Cornwall, PL12 6XN

We thank you for your recent request.

As instructed, we have carried out a mining search in respect of the above property, as delineated on the plan supplied for the purpose of requesting this search (a copy of which is included with this report).

The purpose of this mine search is to examine and interpret the plans and records in our possession relating to metalliferous mining activity and based upon this information, give a professional opinion in respect of potential risk to the property from such historical mining activity.

Where other workings relating to clay, stone or other minerals are noted to be in close proximity to the property mention will be made of them.

This report is presented in a format that is suitable to be used for the purposes of conveyancing, development or refinancing of the property in question.

Depending on the findings of the research, it will make recommendations as may be deemed required and appropriate.

Mining Activity

The property is located outside of the major mineralised areas of Cornwall.

The plans and records that are currently held in our possession at the time of compiling this report, relating to this district, do not indicate the presence of any old shallow/surface mine workings or shafts within the boundaries of the property.

The nearest recorded mining related feature comprises the portal of an adit (drainage tunnel) located over 880 metres to the south-east of the property.

This adit, which extends in a southerly direction, was associated with a trial for copper and lead ores, under the name Wheal Tamar Mine.

The old Wheal Harrison Mine lies over 2 km to the south-south-east of the property.

We have found no evidence of clay workings or other mineral workings in the immediate vicinity of the property.

Based upon the historic mapping sources we have reviewed we have found no evidence of any water supply wells within the boundaries of the property.

Conclusions

We know of no plans to exploit metallic minerals in the locality, nor do we consider this a likely event.

Low Risk

Based upon the information that is held in our possession, at the time of writing this report, we have found no documentary evidence to indicate the presence of old shallow or surface mine workings underlying the property.

We would consider that the property appears to be at low risk from past mining activity.

Recommendations

We have no recommendations to make in respect of this property.

Low Risk

Scope of Search & Limitations

This search has been carried out with reference to the extensive collection of plans, records and archives that are held in our possession at the time of writing this report and from this material we have endeavoured to give as accurate a report as possible in respect of the property as delineated in the initial request.

However, taking into account that such records may not be wholly complete or accurate, that records may exist of which we do not hold copies, or records exist that are held in private sources which are not available to us and that in Cornwall, Devon and Somerset many ancient shallow workings and shafts exist of which there are no records, we cannot accept liability for any inaccuracies there may be.

This report is concerned solely with the property searched and should not be used in connection with adjacent properties as only relevant mining features have been mentioned and any known features that would not have a direct influence upon the target property may have been omitted for clarity.

The report is based upon the property boundaries as shown on the supplied request plan.

We cannot accept liability for any inaccuracies if the property boundaries, as supplied to us by the client or the client's agent, are subsequently shown to be incorrect, incomplete or if no such request plan has been supplied when the search has been requested.

This report is confidential to the client and the client's legal advisor and the client's mortgage lender and as such may be used by them for conveyancing or related purposes.

We have no liability toward any person or organisation not party to commissioning this report.

This report or any part of it, is not permitted to be reproduced, copied, altered or in any other way distributed by any other person or organisation.

Unless otherwise expressly stated, nothing in this report shall create or confer any rights or other benefits pursuant to the Contracts (Rights of Third Parties) Act 1999 in favour of any person or organisation other than the person/organisation commissioning this report.

This report is not a contaminated land, environmental, geotechnical or archaeological survey and should not be interpreted as such.

No site visit has been made.

We trust that this report is to your satisfaction and will be happy to answer any queries with respect to it.

Yours faithfully,



Wheal Jane Consultancy
dalef@wheal-jane.co.uk
01872 560200

Low Risk

Mining Glossary

Adit	Horizontal mine drainage tunnel driven from low ground into mine workings. The adit tunnel is the shallowest level shown on mine plans and usually represents the earliest period of workings recorded. Adits have ventilation shafts at regular intervals, which are mostly unrecorded.
Alluvium	Clay, sand and debris deposited by a river. Often streamed for tin.
Burrow	A mine waste tip.
Caunter lode	A lode which runs in a different direction to the general trend of lodes in the district.
Coffin/Koffen	Trench-like openwork at surface.
Costean Pit	A small surface pit excavated to locate and/or sample a lode.
Crosscourse	Geological features which run at right-angles to the principal lodes of a district, and are vertical or sub-vertical faults. Mostly barren of payable minerals, but can carry values of iron ore, cobalt and other metallic minerals. Also known as 'guides' or 'trawns' in the St Just and St Ives mining districts respectively.
Crosscut	Tunnel driven underground, usually at right-angles to the lodes.
Dip of Lode	Angle of inclination of a lode from the horizontal.
Drive	Tunnel driven along the course of a lode.
Elvan	Igneous rock (quartz-porphry) occurring as a vein or dyke. Can be extremely hard. Exploited by quarrying.
Granite	Igneous rock. Crystalline mixture of quartz, feldspar and mica.
Greenstone	Igneous rock also called 'blue elvan'. Generally extremely hard.
Gunnis	Open stope at surface or underground.
Kaolinisation	Alterations or weathering of granite to clay and sand from solid rock.
Killas	Generic term given to sedimentary rock in Cornwall.
Leat	A man-made watercourse.
Level	Horizon underground where ore movement and communications are maintained. Levels consist of lode drives and crosscut tunnels: i.e. 12 fathom level; the system of tunnels driven at 12 fathoms below adit horizon.
Lode	A mineralised structure or vein. Most lodes run from surface vertically or sub-vertically, and can vary from a few inches to several metres in width.
Mundic	Iron pyrite, arsenic and sulphur - arsenopyrite.
Openwork	A surface working, which has usually left a pit or backfilled excavation.
Outcrop	The part of the lode which breaks surface. Worked-out voids and backfilled areas are outcrop features.
Rab	Weathered zone of mixed rock and soil (natural profile)
Sett	An area of land leased for mining.
Shaft	Holes in the ground, which can vary from 0.5m x 1m up to shafts 7m across. Engine shafts tends to be large (typically 3m x 2m) and adit shafts are smaller (typically 1.2m x 1.8m). Depths vary down to 700m.
Stockwork	Mass of narrow veins or lodes running parallel and sub-parallel.
Stope	Ground where lode has been removed leaving void. Sometimes open to surface.
Tailings	Residual sands and slimes from ore dressing. Usually heavily contaminated.

Low Risk

Mining References (generic listing)

H G Dines - The Metalliferous Mining Region of South West England (2 Vols)
A K Hamilton Jenkin - Mines & Miners of Cornwall (16 Vols)
A K Hamilton Jenkin - Mines of Devon (2 Vols)
A K Hamilton Jenkin - Wendron
Thomas Spargo - Tin Mines of Cornwall (6 Vols)
J H Collins - Observations of West of England Mining Region
Sellwood, Durrance & Bristow - Geology of Cornwall
Durrance & Laming - Geology of Devon
Burt, Waite & Burnley - Cornish Mines
MRO Plans (CRO)
MRO Copies (SC Archive)
MRO Microfiche (SC)
South Crofty Archive
Tehidy Minerals Archive
JMS/JAB/JHB Archive
Wheal Jane Collection
Wheal Pendarves Collection
Geevor Collection
Thyssen Review & Plans
A K H Jenkin, Annotated 6" Plans
Geological 6" Plans
Richard Thomas Plans
Robert & Brenton Symons Plans
Nicholas Whitley Plans
K Bennet Annotated Plans
R Lyon Annotated Plans
Ordnance Survey 1880, 1906, etc Maps
H G Dines Composites

Low Risk

Search Request Plan

Copy of the request plans provided to Wheal Jane Consultancy to identify the property for search purposes:



Please note that request plans do not automatically follow the convention for north to be oriented 'up' the page, however, all directional references made in this report are based upon correctly oriented mapping resources that are held by Wheal Jane Consultancy.

Accuracy, quick turnaround times, competitive prices, fully qualified and experienced staff, full professional indemnity insurance cover.

Cornwall's first ISO certified mine search and site investigation specialists



Chancel Report



Potential Liability

PinPoint Chancel Ltd has searched its records of historical parishes, tithe boundaries, third party data, and data sourced from The National Archives. It has been determined that the property is located in a historical parish, or tithe district containing a record of Chancel Liability.

1. The data used to identify potential risk are derived from an academic study of historical parish boundaries, and the relevant documentation pertaining to potential chancel repair liability held at The National Archives.
2. PinPoint Chancel Ltd searches against the identified address point of the subject building and not the delineated boundary of the property, in order to establish the location in respect of the relevant historical boundary.
3. PinPoint Information Products Ltd will not be liable for any inaccuracy in the plan and/or address provided by you.
4. This service is only available for properties in England and Wales.

PinPoint can supply an Aviva Insurance Policy to cover this risk. Please log into your account or contact your Reseller to purchase a policy. Prices of all our policies can be found on the following page.

Address:

LAND ADJACENT TO
3 CAMPION CLOSE
PILLMERE
SALTASH
PL12 6XN

Your reference:

PP01275398

Client reference:

SAL249/2/00761066/387

Date of order:

12 September 2025

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Report Terms and Conditions

This report has been published by PinPoint Information and is supplied subject to our Terms and Conditions of Business, which can be found at www.pinpointinformation.co.uk/terms-v2

The report is also supported by £10 million Professional Indemnity Insurance; details available on request

If you require any assistance please contact our team:

t: 0844 822 3960

e: info@pinpointinformation.co.uk
www.pinpointinformation.co.uk



PinPoint Chancel Ltd
Riverbank House, 1 Putney Bridge
Approach, London SW6 3JD

PINPOINT CHANCEL AVIVA INSURANCE PREMIUMS

PinPoint Chancel Repair Insurance policies are underwritten by Aviva Insurance.

All policies are:

- **In perpetuity**
- **Successor in title**

Samples can be found on our website www.pinpointinformation.co.uk

The figures quoted below include IPT and administration fees of £6 (including vat)

For higher limits of indemnity or areas greater than 20 acres please contact us on 0844 822 3960 or info@PinPointinformation.co.uk

All policies are:
• **in Perpetuity**
• **Successor in Title**

Residential up to 5 acres – in Perpetuity

Indemnity	Premium
£1,000,000	£45.20
£2,000,000	£118.00
£3,000,000	£184.56

Residential 5 to 20 acres – in Perpetuity

Indemnity	Premium
£1,000,000	£82.07
£2,000,000	£158.14
£3,000,000	£237.39

Commercial up to 3 acres – in Perpetuity

Indemnity	Premium
£250,000	£22.68
£500,000	£40.82
£750,000	£54.43
£1M	£67.92
£1.5M	£90.72
£2M	£113.40
£2.5M	£136.08
£3M	£158.76

Commercial 3 to 5 acres – in Perpetuity

Indemnity	Premium
£250,000	£25.20
£500,000	£45.36
£750,000	£60.48
£1M	£75.60
£1.5M	£100.80
£2M	£126.00
£2.5M	£151.20
£3M	£176.40

Commercial 5 to 20 acres – in Perpetuity

Indemnity	Premium
£250,000	£28.00
£500,000	£50.40
£750,000	£67.20
£1M	£84.00
£1.5M	£112.00
£2M	£140.00
£2.5M	£168.00
£3M	£196.00

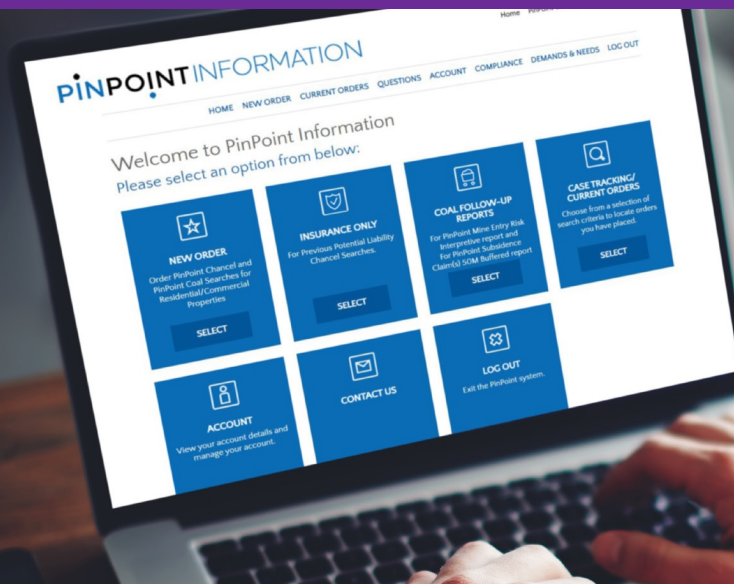
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info@PinPointinformation.co.uk

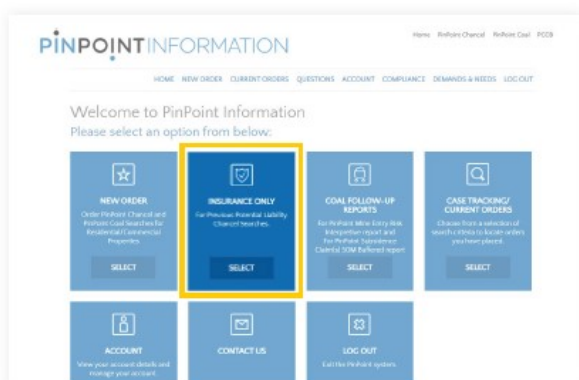
Registered in England and Wales
06019828, Registered Office
Riverbank House, 1 Putney Bridge
Approach, London SW6 3JD

PinPoint Chancel Insurance Order Process



If you wish to obtain PinPoint Chancel Insurance to cover a risk highlighted in a potential liability result, you will need to follow the process below and order it directly from the PinPoint Information website. Policies for properties up to 20 acres can be obtained directly from the website, but if you require a larger policy please contact us at info@pinpointinformation.co.uk

1. Please go to www.pinpointinformation.co.uk to register or login.
2. Please select **Insurance Only**.



4. Click **Next** below the box.

3. Please ensure the product type is set to Chancel and then enter the **search reference number** and the **postcode** of the property from the original Chancel search.

5. You will be presented with the insurance options available for that search (residential or commercial). Select the **product box** you require and click **Next**. Please ensure the address displayed is for the property you require the policy for.

6. Please confirm the statement of fact by ticking the **tick box**, then click **Next** and the transaction is complete. The policy will be sent to your email address within a few minutes.

For further help with the order process please contact:
e: info@pinpointinformation.co.uk t: 0844 822 3960
www.pinpointinformation.co.uk



X-PRESS LEGAL SERVICES
LIMITED - LOOE
THE HILL HOUSE
ST MARTINS ROAD, LOOE
CORNWALL, PL13 1LP

CON29DW COMMERCIAL

DRAINAGE & WATER SEARCH

Search Location:

LAND ADJACENT TO 3 CAMPION
CLOSE CAMPION CLOSE, PILLMERE,
SALTASH, PL126XN

National grid reference:

241696, 59731

Report Reference:

GIS/PY/LAN/12092025/41

Date Search Produced:

12 September 2025

Your Reference:

00761066

Date Request Received:

12 September 2025

Prepared For:

X-PRESS LEGAL SERVICES LIMITED -
LOOE
THE HILL HOUSE
ST MARTINS ROAD, LOOE
CORNWALL, PL13 1LP

Intended Recipient:

James Ferguson

**DRAINAGE + WATER
SEARCHES NETWORK**
DWSN

INTRODUCTION

**RE: LAND ADJACENT TO 3 CAMPION CLOSE CAMPION CLOSE, PILLMERE, SALTASH,
PL126XN - 00761066**

Please find enclosed the results of your Drainage and Water Search request for the above site dated 12 September 2025.

South West Water Limited has made all reasonable efforts to ensure the accuracy of this information, but provides it subject to the following conditions:

- Service pipes and drainage connections may not be shown
- Our liability for any inaccuracies or omissions in the information is limited and your attention is drawn to the terms and conditions attached to this search and those on the CON29DW order form
- No reference is made in the information to any interest or right of the Company on any land, this is not to be taken as conclusive evidence that no such interest or right exists

These reservations are in addition to any statutory regulations which may apply. Please refer to notes at the end of this search report for further information and advice on sewers and water mains and for the full terms and conditions under which this report is supplied.

The person who prepared this report, identified below, has not knowingly had any personal or business relationship with any individual involved in the sale of the property.

Records searched in order to compile this report, including the public sewer and water maps, customer account information and any other statutory registers, together with records on build-over consents and sewer adoption agreements, are all held by the relevant water and/or drainage company identified in this report.

Where relevant, mapping extracts supplied by Ordnance Survey are reproduced by permission of the Controller of HMSO, © Crown Copyright South West Water Ltd. Licence no. 0100031673.















For more information on the searches & services offered by Source for Searches please visit sourceforsearches.co.uk

Thank you for your enquiry. If we can be of any further assistance please do not hesitate to contact us by emailing contactus@sourceforsearches.co.uk


Yours faithfully,

Paul Yard
sourceforsearches.co.uk

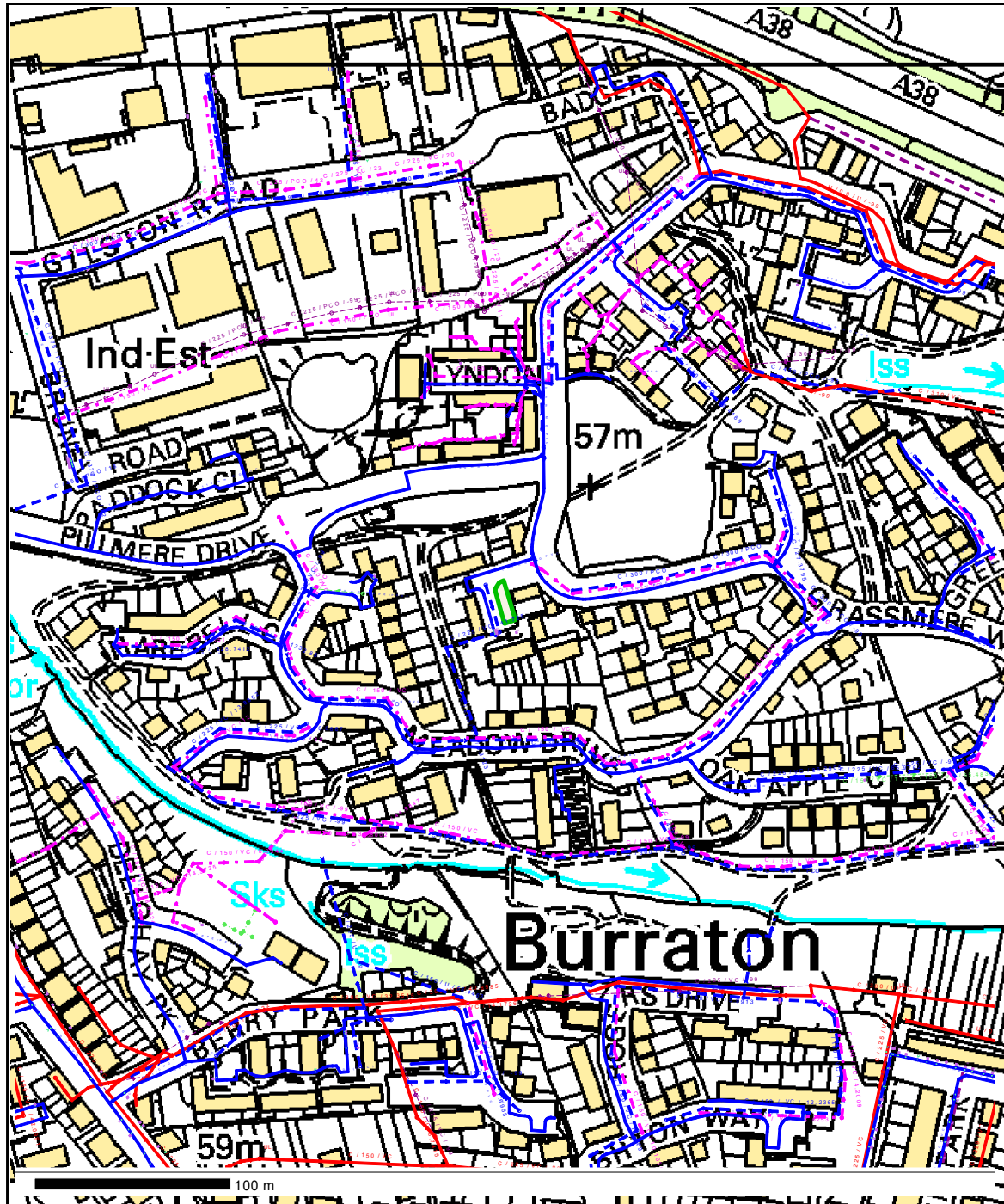
ORDER SUMMARY

Section 1 - Maps			
1.1	Where relevant, please include a copy of an extract from the public sewer map.	✓	Map Included
1.2	Where relevant, please include a copy of an extract from the map of waterworks.	✓	Map Included
Section 2 - Drainage			
2.1	Does foul water from the property drain to a public sewer?		NO
2.2	Does surface water from the property drain to a public sewer?		NO
2.3	Is a surface water drainage charge payable?		NO
2.4	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?		NO
2.4.1	Does the public sewer map indicate any public pumping station or ancillary apparatus within the boundaries of the property?		NO
2.5	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?		NO
2.5.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property?		NO
2.6	Are any sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?		NO
2.7	Has a Sewerage Undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?		NO
2.8	Is any building which is, or forms part of the property, at risk of internal flooding due to overloaded public sewers?		NO
2.9	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	1.9km to the South East	
Section 3 - Water			
3.1	Is the property connected to mains water supply?		NO
3.2	Are there any water mains, resource mains or discharge pipes within the boundaries of the property?		NO
3.3	Is any water main or service pipe serving, or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?		NO
3.4	Is the property at risk of receiving low water pressure or flow?		NO
3.5	What is the classification of the water supply for the property?		See Details
3.6	Is there a meter installed at the property?		NO
3.7	Please include details of the location of any water meter serving the property.		See Details

ORDER SUMMARY

Section 4 - Charging		
4.1.1	Who is responsible for providing the sewerage services for the property?	South West Water
4.1.2	Who is responsible for providing the water services for the property?	South West Water
4.2	Who bills the property for sewerage services?	Private
4.3	Who bills the property for water services?	Private
Section 5 - Trade Effluent		
5.1	Is there a Consent to discharge Trade Effluent under S118 of the Water Industry Act (1991) into the public sewer system?	 NO
Section 6 - Supplementary Questions		
6.1	Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?	Information Unavailable
6.2	On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.	Information Unavailable

OVERVIEW PLAN



LOCATION : LAND ADJACENT TO 3 CAMPION CLOSE CAMPION CLOSE, PILLMERE, SALTASH, PL126XN

Grid Ref : 241696m East, 59731m North

THE POSITION & DEPTH OF APPARATUS AND OTHER INFORMATION INDICATED ON THIS MAP IS PROVIDED AS A GENERAL GUIDE ONLY AND NO ASSURANCE OR WARRANTY AS TO ITS CORRECTNESS OR ACCURACY IS GIVEN OR SHOULD BE INFERRED. EXACT POSITIONS & DEPTHS SHOULD BE OBTAINED BY EXCAVATION TRIAL HOLES AND THE MAP MUST NOT BE RELIED ON IN THE EVENT OF EXCAVATION OR OTHER WORKS UNDERTAKEN OR PLANNED IN THE VICINITY OF THE COMPANY'S APPARATUS.

PLEASE NOTE THAT NOT ALL MAINS, SERVICE PIPES AND OTHER APPARATUS OF THE COMPANY IN THE AREA OF THE PLAN ARE SHOWN.

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SECTION 1 - MAPS

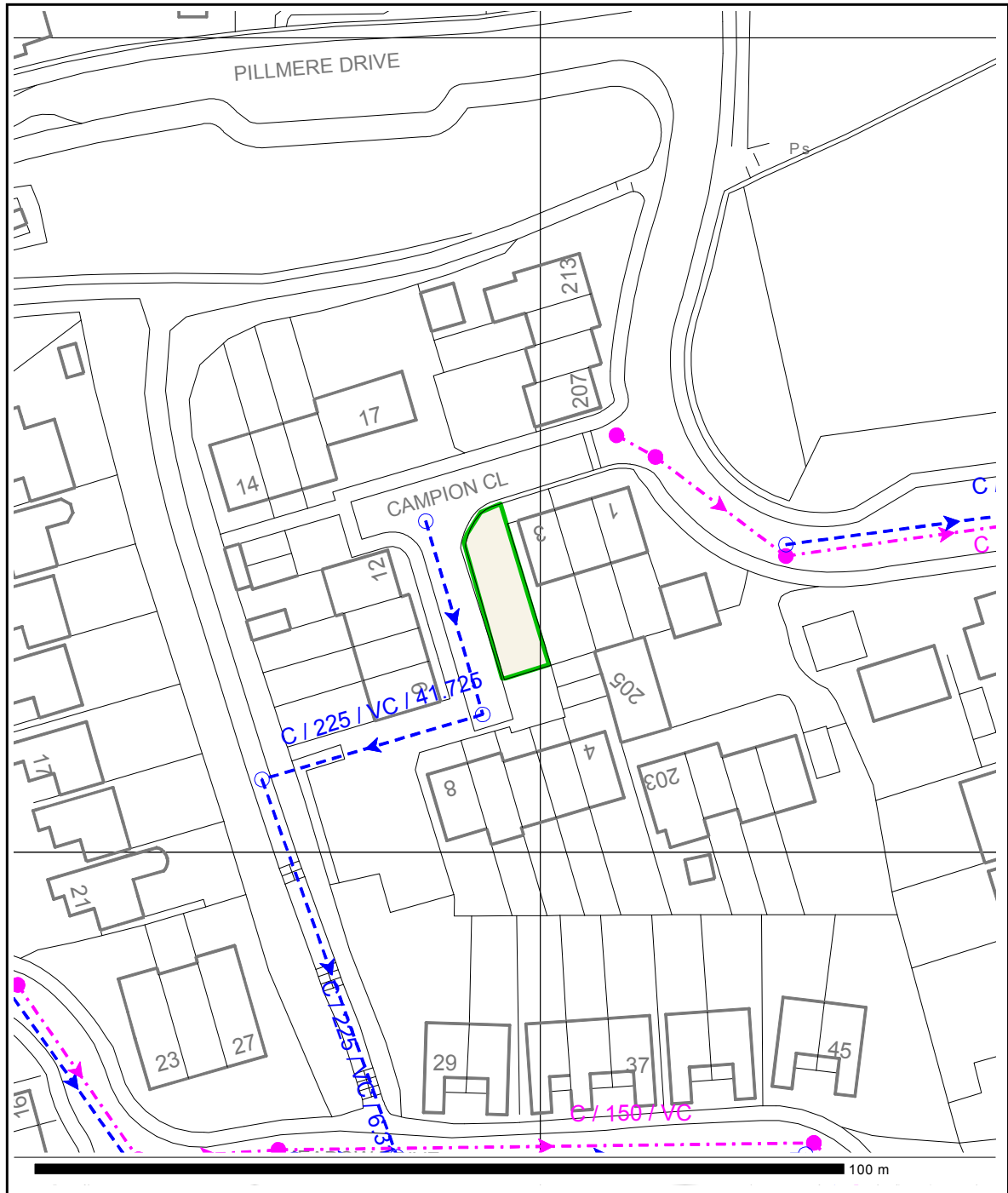
- 1.1 Where relevant, please include a copy of an extract from the public sewer map.

A copy of an extract from the public sewer map is included, showing the public sewers, disposal mains and lateral drains in the vicinity of the property. See notes a,b, c

- 1.2 Where relevant, please include a copy of an extract from the map of waterworks.

A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property. See notes d,p,q

1.1 - DRAINAGE PLAN



**LOCATION : LAND ADJACENT TO 3 CAMPION CLOSE CAMPION CLOSE, PILLMERE,
SALTASH, PL126XN**

Grid Ref : 241696m East, 59731m North

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DRAINAGE KEY

Sewers are generally classified by what they convey, as well as whether they are public or private pipes. Line style denotes function, and colour defines status (public or private).

Examples of the abbreviation details above a Sewer Pipe
(details will be in the same colour as the pipe itself):

A B C D
Cir / 225 / VC / 82

A: Shape
B: Diameter (replaced by width & length on non-circular pipes)
C: Material
D: Gradient (1: number shown)

Public - Foul		Highway	
Public - Surface		Abandoned Sewer	
Public - Combined		Pumping Main	
Public - Treated		Elevated Sewer	
Private Sewer		Syphon	
Unverified			

Shapes




















Circular	Cir	Rectangular	Rec	Barrel	Brl	Trapezoidal	Trpz
U Shaped	UShp	Horseshoe	Hsho				

Materials

Vitrified Clay	VC	Clay (Salt Glaze)	SG	Pre-cast Concrete	PCO	Concrete	CO
Asbestos Cement	AC	Brick	BR	Stone (Masonry)	MAC	Alkathene	AK
Steel	ST	Concrete Box	CB	Glass Reinforced Plastic	GRP	Plastic	PL
Polypropylene	PP	Unplasticised Polyvinylchloride	UPVC	Polyethylene	PE	Polyvinylchloride	PVC
Concrete Segments Bolted	CSB	Pitch Fibre	PF	Concrete Segments Unbolted	CSU	Medium Density Polyethylene	MDPE
Not Known	NK						

DRAINAGE KEY CONTINUED

Sewerage Structures (shown in common colours)

Manhole Foul / Trade		Manhole Surface		Manhole Private		Manhole Combined	
Soakaway	SK	Washout	WO	Catchpit	CP	Hatchbox	HB
Flushing	FC	Lamphole	 LH	Tank Online	 TN	Tank Offline	TO
Septic Tank	 S	Cesspit	C	Header	 E	Drain	 LD
Reflux Valve	 RV	Sluice Valve		Air Valve	 AV	Venting Pole	VP
Storm Overflow				Undefined Connection			
Outfall				Backdrop			

Sewerage Installations

Pumping Station		Treatment Works	 WWTW
-----------------	---	-----------------	--

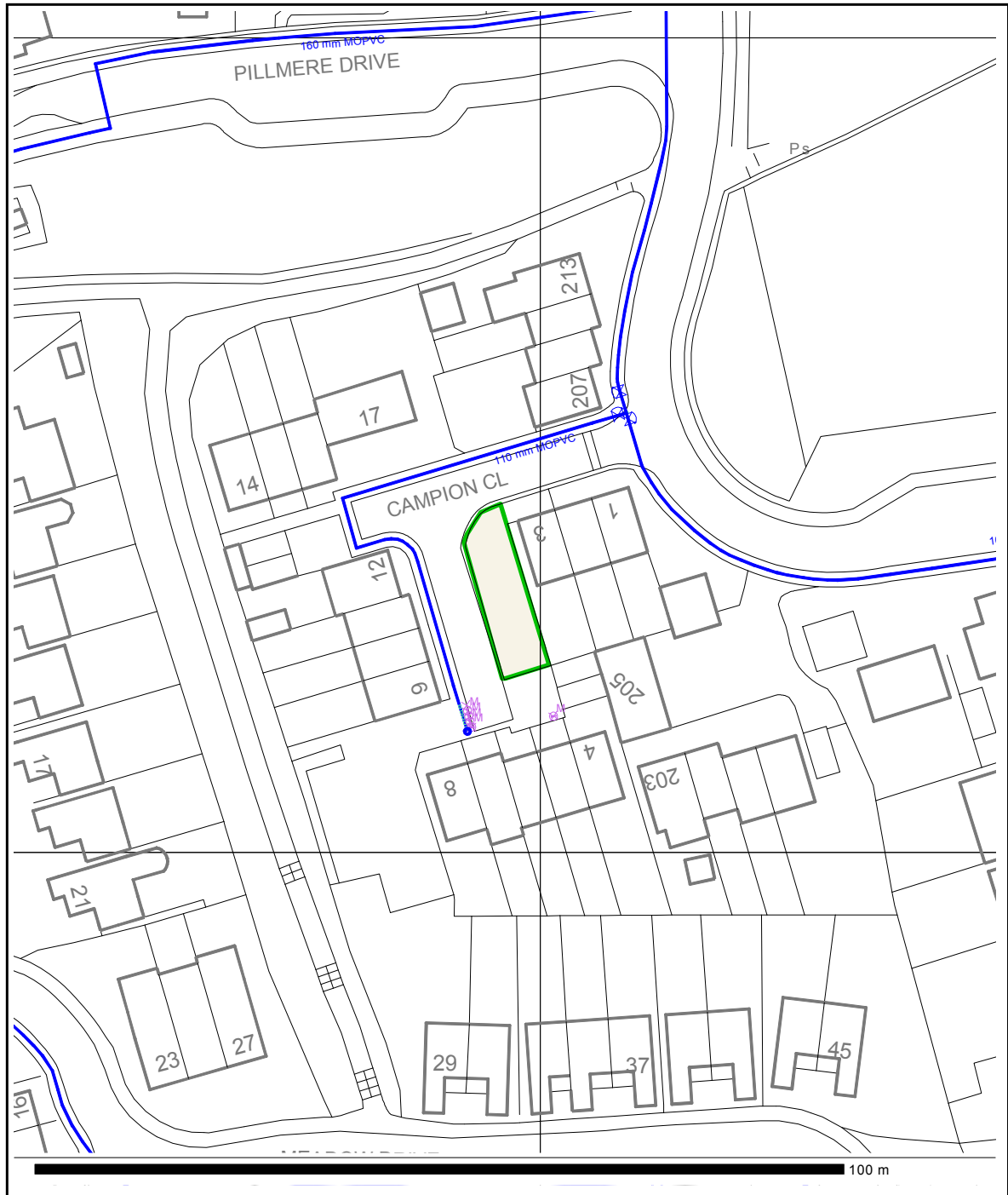
Details on Covers

Lockable	k	Gas / Water Tight	t	Bolted	b
----------	---	----------------------	---	--------	---

Location

Buried	BL	Unable to Locate	UL
--------	----	---------------------	----

1.2 - WATER PLAN



Location : LAND ADJACENT TO 3 CAMPION CLOSE CAMPION CLOSE, PILLMERE, SALTASH, PL126XN

Grid Ref : 241696m East, 59731m North

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WATER KEY

Examples of the abbreviation details above a Water Pipe
(details will be in the same colour as the pipe itself):

A B
3 in CI

A: Size
B: Material Abbreviation

Distribution Main
Trunk Main
Communication Pipe



Untreated Main
Private Pipe
Abandoned Main



Cast Iron	CI	Spun Iron	SI	Ductile Iron	DI	Steel	ST
Asbestos Cement	AC	Plastic	UPVC	High Density/ Medium Density Polyethylene	HDPE MDPE	High Pressure Polyethylene	HPPE

Water Features (shown in common colours)

Washout		Hydrant		Hatchbox		Washout Hydrant	
Air Valve (Single)		Air Valve (Double)		Closed Valve Closing Direction: Anti-Clockwise		Closed Valve Closing Direction: Clockwise	
Pump		Pumping Station Number of Pumps as indicated		Open Valve Opening Direction: Anti-Clockwise		Open Valve Opening Direction: Clockwise	
Customer Meter		EBCO M optional if meter fitted		Non-Return Valve /Reflux		Stoptap	
Mains Meter M=Normal DMA/WIS B=Boundary Meter		Optional Readout if location is different from the meter		Relief Valve		End Cap	
Pressure Reducing Valve		Pressure Sustaining Valve		Inlet / Outlet		Pipe Reducer	
Abstraction Point		AB		Bore Hole		BH	

Water Pipe Furniture

Anode		Calgon / Aquarite		Chlorination Point		Flushing on a Sluice Valve	
Insert Flow Meter		Excavation Location		Strainer		Ferrule	

SECTION 2 - DRAINAGE

2.1 Does foul water from the property drain to a public sewer?

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer. See notes d, e, f

2.2 Does surface water from the property drain to a public sewer?

This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer. See notes d, e, g

2.3 Is a surface water drainage charge payable?

Records confirm that a surface water drainage charge is not payable for the property. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer.

2.4 Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?

The public sewer map indicates that there are no public sewers, disposal mains or lateral drains within the boundaries of the property. It is recommended that investigations are made into the drainage arrangements of the property as the owner may be liable for repairs to the drainage system. See notes k,l,b

2.4.1 Does the public sewer map indicate any public pumping station or ancillary apparatus within the boundaries of the property?

The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within the boundaries of the property.

2.5 Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

The public sewer map indicates that there are no public sewers within 30.48 metres (100 feet) of any buildings within the property. See notes c, m, n

SECTION 2 - DRAINAGE

- 2.5.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property?

The public sewer map included indicates that there is no public pumping station or any other ancillary apparatus within 50 metres (164.04 feet) of any buildings within the property.

- 2.6 Are any sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that sewers serving the development, of which the property forms part, are not the subject of an existing adoption agreement or an application for such an agreement. See notes h,i,j,b

- 2.7 Has a Sewerage Undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?

There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. See glossary

- 2.8 Is any building which is, or forms part of the property, at risk of internal flooding due to overloaded public sewers?

The property is not recorded as being at risk of internal flooding due to overloaded public sewers.

From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership. It is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor. See notes dd,ee,ff,gg

SECTION 2 - DRAINAGE

- 2.9 Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

The nearest sewage treatment works is 1.9km to the South East of the property.

The name of the nearest sewage treatment works is SALTASH.

This facility is owned and operated by South West Water Ltd. See note aa

SECTION 3 - WATER

3.1 Is the property connected to mains water supply?

This enquiry relates to a plot of land or a recently built property. It is recommended that the water supply proposals are checked with the developer.

3.2 Are there any water mains, resource mains or discharge pipes within the boundaries of the property?

The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property. See notes k,r

3.3 Is any water main or service pipe serving, or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement. See notes d,q,u

3.4 Is the property at risk of receiving low water pressure or flow?

Records confirm that the property is not recorded on a register kept by the water undertaker as being at risk of receiving low water pressure or flow. See note y

3.5 What is the classification of the water supply for the property?

Water hardness across the South West ranges from soft to moderately hard. There are no areas classified as hard. Appendix I shows the classification for the region which your property is in. See note z

SECTION 3 - WATER

3.6 Is there a meter installed at the property?

Records indicate that this enquiry relates to a plot of land or a recently built property. See notes s,t

3.7 Please include details of the location of any water meter serving the property.

Records indicate that the property is not served by a water meter. See note w

SECTION 4 - CHARGING

4.1.1. Who is responsible for providing the sewerage services for the property?

South West Water Ltd, Peninsula House, Rydon Lane, Exeter, EX2 7HR, 0344 346 1010 www.southwestwater.co.uk is the sewerage undertaker for the area.

4.1.2. Who is responsible for providing the water services for the property?

South West Water Ltd, Peninsula House, Rydon Lane, Exeter, EX2 7HR 0344 346 1010 www.southwestwater.co.uk is the water undertaker for the area.

4.2. Who bills the property for sewerage services?

The property is not billed for sewerage services.

4.3. Who bills the property for water services?

The property is not billed for water services.

SECTION 5 - TRADE EFFLUENT

- 5.1. Is there a Consent to discharge Trade Effluent under S118 of the Water Industry Act (1991) into the public sewer system?

There is no consent to discharge Trade Effluent at this address. Please be aware it is an offense under S129 of the Water Industry Act of discharging Trade Effluent without consent

See appendix II

SECTION 6 - SUPPLEMENTARY QUESTIONS

- 6.1. Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?

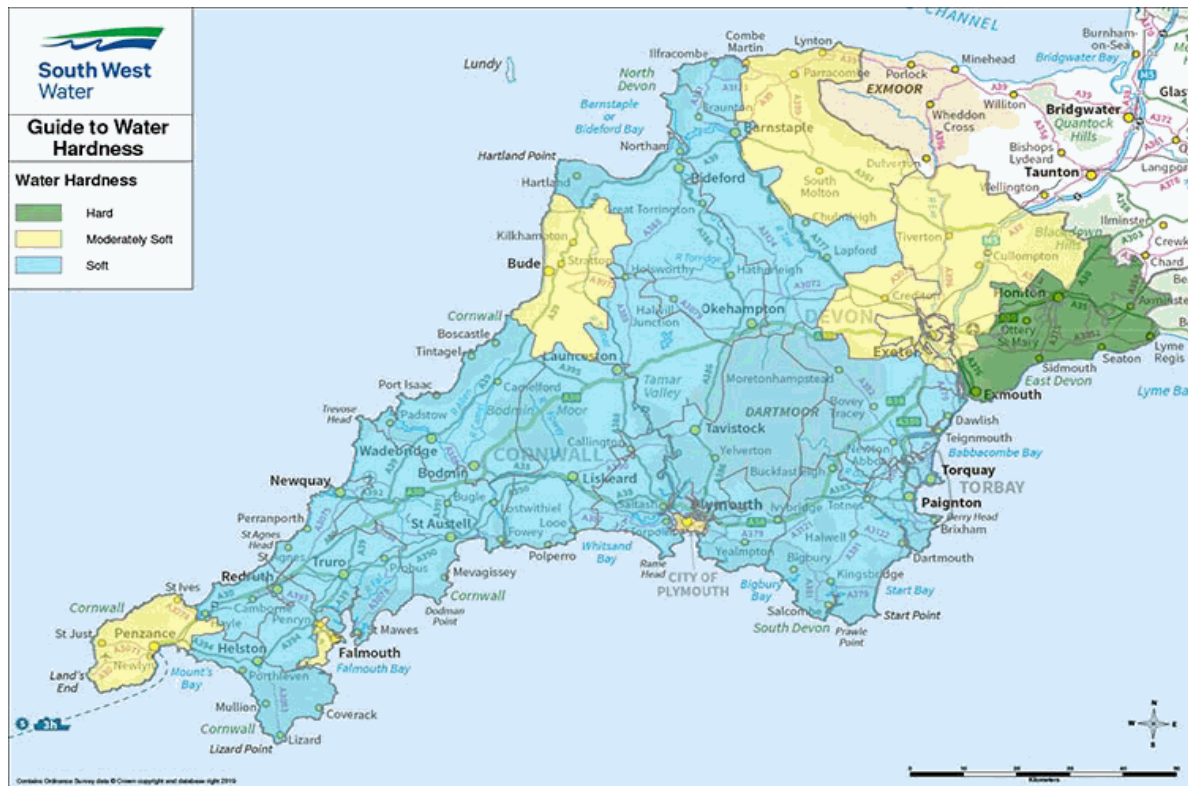
This information is not currently available.

- 6.2. On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.

This information is not currently available.

APPENDIX I - WATER QUALITY REPORT

The map below shows the hardness of water across the South West Water region.



Water hardness measurements

There are several different measurements for water hardness. You may see any of these mentioned in the manuals for washing machines and other appliances.

Hardness category	Calcium (mg/l)	Calcium carbonate (mg/l)	English Clarke degrees	French degrees	General/German degrees
Soft	0 to 20	0 to 50	0 to 3.5	0 to 5	0 to 2.8
Moderately soft	21 to 40	51 to 100	3.6 to 7	6 to 10	2.9 to 5.6
Slightly hard	41 to 60	101 to 150	8 to 10.5	11 to 15	5.7 to 8.4
Moderately hard	61 to 80	151 to 200	10.6 to 14	16 to 20	8.5 to 11.2
Hard	81 to 120	201 to 300	15 to 21	21 to 30	11.3 to 16.8
Very hard	Over 120	Over 300	Over 21	Over 30	Over 16.8

For more information on the water hardness at the property follow the link below to South West Waters water quality checker.

<https://www.southwestwater.co.uk/household/help-support/report-a-problem/hard-water>

APPENDIX II - TRADE EFFLUENT

All industrial waste waters (trade effluents) are subject to a discharge consent system under either the Water Resources Act 1991 or the Water Industry Act 1991.

Trade effluent is legally defined as "any liquid, either with or without suspended particles, which is wholly or partly produced in the course of any trade or industry carried on at trade premises". It does not include domestic sewage. The water & sewerage undertaker for the area charge for this if it goes to sewer.

Consent to discharge

The Water and Sewerage undertaker maintain the sewerage system, provide treatment for the waste, and dispose of the final treated effluent. To allow them to do this effectively, they can impose special restrictions on an effluent before allowing the discharge. These restrictions depend upon the type of treatment provided by the company, the size of connecting sewers and the capacity of the waste water treatment works (WWTW).

Restrictions can also include:

- the nature or composition of the effluent
- the maximum daily volume allowed
- the maximum rate of flow
- the sewer into which the effluent is discharged.
- the temperature of the discharge
- the pH of the effluent.

For further details on a Trade Effluent Consent, see the South West Water trade effluent consent web page:

www.southwestwater.co.uk/wholesale/trade-effluent-services/trade-effluent-consent/

Source for Searches is a member of the Drainage and Water Searches Network (DWSN), a membership organisation for companies who are responsible for compiling full and complete responses to the Law Society's CON29DW Residential and CON29DW Commercial products.

For more information, please visit www.dwsn.org.uk

The DWSN Standards are:

- Promotion of best practice and quality.
- Maintain adequate insurance.
- Display the appropriate logos to signify high standards.
- Respond to complaints in a timely fashion and provide an appropriate escalation procedure.
- Comply with all applicable UK legislation, regulations and industry standards.
- Act in a professional and honest manner and provide a service with due care and skill.

Complaints Procedure

If any of our customers have a query or issue regarding either the provision or the content of a Source for Searches Drainage and Water search, they should contact the Source for Searches team in the first instance, contact details are on the rear of this search report.

If you do raise a complaint, you can expect the following as a minimum standard from Source for Searches:

1. We will listen to your complaint and do our best to resolve it immediately.
2. If we cannot resolve it at the time, we will record the details of your complaint and we will investigate and contact you within 5 working days in writing and response within 10 working days.
3. Depending on the scale of the investigation required, we will keep you informed of the progress and update you with the new timescales, if necessary.
4. If you want us to liaise with a third party on your behalf, just let us know.
5. If we cannot resolve your complaint or have failed to comply with the complaint's procedure, we can ask an independent body to mediate.

If we consider the complaint to be justified, you can expect the following from Source for Searches:

1. We will refund you the search fee. We will also provide you with a revised search and undertake action within our control to put things right in line with the product terms and conditions. You will be informed of any action required.
2. If your search takes us longer than ten working days to complete and we have not communicated the reasons for the delay, you will receive the search free of charge.
3. Once you have our response, if you are still unhappy, please let us know and we can escalate your complaint.
4. While we aim to resolve your complaint first time, if we are unable to resolve the issue to your satisfaction, ultimately you can contact The Property Ombudsman Scheme (TPOs).

The Property Ombudsman scheme (TPOs)

If we cannot resolve your complaint or have failed to comply with the complaints procedure, you may refer your complaint under The Property Ombudsman scheme (TPOs). The Ombudsman can award compensation of up to £25,000 to you if the Ombudsman finds that you or your client has suffered actual financial loss, distress or inconvenience.

TPOs Contact Details:

The Property Ombudsman scheme
Milford House
43-45 Milford Street
Salisbury
SP1 2BP

Telephone: 01722 333306
Fax: 01722 332296
Website: www.tpos.co.uk
Email: admin@tpos.co.uk



NOTES - TO ACCOMPANY THE QUESTIONS

The information in the following pages is provided in addition to the responses already provided and to answer any general questions you may have about the content of this report.

Notes to accompany the drainage and water questions

- a. The Company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- b. The section 104 sewer record is not an 'as-constructed' record. It is recommended that these details are checked with the developer.
- c. Assets other than public sewers may be shown on the copy extract, for information only.
- d. The Company is not responsible for private supply pipes connecting the property to the public water main and does not hold details of these. These may pass through land outside of the control of the seller, the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- e. An extract from the public sewer map is enclosed. This will show all known public sewers in the vicinity of the property and you should be able to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.
- f. If foul water does not drain to the public sewerage system the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.
- g. In some cases, company records do not distinguish between foul and surface water connections to the public sewerage system. If on inspection the buyer finds that the property is not connected for surface water drainage the property may be eligible for a rebate of the surface water drainage charge. Details can be obtained from the Company.
- h. Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, intended recipients should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.
- i. Final adoption is subject to the developer complying with the terms of the adoption agreement under S104 of the Water Industry Act 1991.
- j. Where the property is part of an established development it would not normally be subject to an adoption agreement under S104 of the Water Industry Act 1991.
- k. The boundary of the property has been determined by reference to the Ordnance Survey record.
- l. The presence of a public sewer running within the boundary of the property may restrict further development. The Company has a statutory right of access to carry out works on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.
- m. The presence of a public sewer within 100 feet (approx. 30 metres) of the building(s) within the property can result in the local authority requiring a property to be connected to a public sewer.
- n. The measure is estimated from the centre of the property or land shown on the Ordnance Survey record.
- o. Assets other than vested water mains may be shown on the copy extract, for information purposes only.
- p. The Company is not responsible for the drains and sewers which connect the property to the public sewerage system, and does not hold details of these. The current property owner will normally have sole responsibility for the private drains serving the property and may have shared responsibility with other users if the property is served by a private sewer. These may pass through land outside of the control of the seller, the intended recipient may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- q. If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.
- r. The presence of a vested water main within the boundary of the property may restrict further development within it. The Company has a statutory right of access to carry out works on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.
- s. Metered charges will apply where a buyer makes a change of use of the property or where the buyer uses water for:-
 - i. Watering the garden other than by hand,
 - ii. Automatically replenishing a pond or swimming pool >10,000 litres
 - iii. A bath with capacity >230 litres
 - iv. A reverse osmosis unit.
- t. Water and Sewerage companies' full charges are set out in their charges schemes which are available from the company free of charge upon request.
- u. Where a property is part of a very recent or ongoing development and the water mains are not the subject of an adoption application, intended recipients should consult with the developer to ascertain the extent of private water pipes for which they may become responsible.

NOTES - TO ACCOMPANY THE QUESTIONS

- v. The Water Industry Act, 1991 section 150, the Water Resale Order 2001 provides protection for people who buy their water or sewerage services from a person or company instead of directly from a Water or Sewerage Undertaker. Details of this are available from the Office of Water Services (OFWAT): www.ofwat.gov.uk.
- w. Information on the location of water meters is indicative only. Customers without water meters who may wish to consider this method of charging should contact South West Water Metering Services Team.
- x. A sewer is 'overloaded' when the flow from a storm is unable to pass through it due to a permanent problem (e.g.: flat gradient or small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded. 'At Risk' properties are those that the sewerage Undertaker is required to include in the Regulatory Register which is reported annually to the Director General of Water Services. Properties may be at risk of flooding but not included in the register where flooding incidents have not been reported to the Sewerage Undertaker. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker. This report excludes flooding from private sewers and drains and the sewerage Undertaker makes no comment upon this matter.
- y. "Low Water Pressure" means water pressure below the regulatory level which is the minimum pressure when demand on the system is not abnormal. The Water Undertakers are required to include in the Regulatory register (often referred to as the 'DG2 Register'), that is reported annually to the Director General of Water Services (OFWAT), properties receiving pressure below the reference level, provided that allowable exclusions do not apply (for example: temporary 'one-off' events which cause temporary loss of pressure). The reference level of service is a flow of 9 litres per minute at a pressure of 10 metres head. This is measured on the customers' side of the main stop tap / meter. For three or more properties the appropriate flow should be calculated from the standard loadings provided in BS806-3 or the Institute of Plumbing handbook.
- z. Water Undertakers have a duty to provide wholesome water that meets the standards of the Water Supply (Water Quality) Regulations 2000. Water quality is normally tested at the tap used for domestic consumption (normally in the kitchen), however the householder is responsible for any deterioration in quality that is a result of the domestic network and plumbing arrangements within the property that results in the standards not being met. Data collected by the Water Undertaker is subject to external review by the Drinking Water Inspectorate (DWI) and by local and health authorities. If you require any further advice regarding failures in water quality standards, please see Q.4.1.2 for contact details. Authorised departures are not permitted if the extent of the departure from the standard is likely to constitute a potential danger to human health.
- aa. The nearest sewage treatment works will not always be the sewage works serving the catchment within which the property is situated, i.e. the property may not necessarily drain to this works. It should be noted that there may be a private sewage treatment works closer to the property than the public one identified here. The Sewerage Undertaker is unable to comment on the efficiency or odour problems which may arise from such private treatment works.
- bb. Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered. From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have been approved or consulted about any plans to erect a building or extension on the property over or in the vicinity of these.
- cc. From the 1st October 2011 there may be additional lateral drains and/or public sewers which are not recorded on the public sewer map but are also within 30.48 metres (100 feet) of a building within the property.
- dd. A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- ee. "Internal flooding" from public sewers is defined as flooding which enters a building or passes below a suspended floor. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- ff. At Risk properties are those that the Sewerage Undertaker is required to include in the Regulatory Register that is reported annually to the Director General of Water services. These are defined as properties that have suffered or are likely to suffer internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Sewerage Undertaker's reporting procedure. Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included on the At Risk register. Properties may be at risk of flooding but not included on the Register where flooding incidents have not been reported to the Sewerage Undertaker.
- gg. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker.

COMMON DRAINAGE & SUPPLY TERMS

Adoption of sewers

Transfers to the sewerage undertaker the ownership of sewers and the legal obligation for meeting the cost of their maintenance and improvement to meet increasingly stringent environmental standards.

Sewerage Undertaker

Is a limited company succeeding the former water authority and appointed by the Secretary of State to carry out the duties as signed to it by statute. These include the provision, maintenance and improvement of a system of sewers and sewage treatment works.

Building Over Agreement / Consent

No building is permitted over public sewers or water mains without a special agreement such as a 'building-over agreement'. Any such building might cause damage and would restrict or interfere with the undertakers rights of access for inspection, repair, maintenance or renewal of their asset. In some circumstances, agreement may be allowed by the issue of 'consent' rather than by formal agreement.

Cesspool / Cesspit

A sealed tank having no out let, used for the storage of sewerage. The Cesspool must be emptied regularly and running costs can be substantial.

Combined Sewer

A sewer carrying both foul water as well as surface water.

Conveyancing 29 Form, Or 'Con29'

A standard form of conveyancing enquiry, normally addressed to the local authority, published by the Solicitors' Law Stationery Society Limited. The Conveyancing 29 form asks standard questions on such issues as Planning, Development, Highways, Smoke Control Orders, etc. It also asks about drainage. Since 1989, the sewerage undertakers have been responsible for maintaining the records of public sewers. Official Local Authority searches (CON29R/LLC) are available from Source for Searches.

Easements

In the context of this document, an easement is a legal restriction on the activities which land owners can undertake on or above an asset such as a trunk water main. In particular, tree planting and building are generally prohibited. Easements have been used when extra powers are deemed to be required by the water undertaker to protect the asset.

Foul Sewer

A sewer used to transport mainly foul sewerage to a treatment works. It may also contain some surface water from rainfall, when it might be termed a 'combined sewer'.

Lateral Drains

Pre-1936 Sewers

The Public Health Act of 1936 set out a range of responsibilities for the operation and maintenance of sewerage system but the Act recognised that little was known about the existing sewer network. Some had been maintained by private individuals and others by local authorities. Some of the costs had been re-charged to the owners, and the location of all these early sewers had not been surveyed and was unknown. The Act acknowledged the different status of these early sewers and made different provisions in respect of them.

Private Drain

A sewer in private ownership draining only one property. If there is no cesspool or private treatment works, the drain usually connects with a private or public sewer.

COMMON DRAINAGE & SUPPLY TERMS

Private Sewage Treatment Plant

Generally a small treatment works (which could be a septic tank) owned and operated by a community, hotel or household. Treatment plants should conform to the same operational and environmental standards applied to sewage works operated by the water company. Accordingly, the running costs for small plants can be substantial and as environmental standards are raised there may be a need for additional capital investment.

Private Water Supplies

Where a property has no connection to the water mains, a suitable private spring or surface water source may be used. This may require extensive treatment to make the supplies safe and will be subject to examination and control by the local environmental health officer. Approval under the Building Act 1984 for new building work for domestic properties will not be granted unless adequate water supplies and drainage facilities are available.

Public Sewer

A sewer vested in and maintained by the sewerage undertaker. Members of the public generally have the statutory right to connect into and use the public sewer on offering payment of sewerage charges.

Rising Mains / Pumping Mains

These are pipes carrying untreated sewage pumped under pressure. There is no right of connection into them.

Section 102 Declaration

A sewerage undertaker may make, or may be asked to make, a declaration that sewer or sewerage disposal works already in existence will be adopted and maintained at public expense from a particular date.

Section 104 Agreement

An agreement made between a housing developer and the sewerage undertaker under Section 104 of the Water Industry Act 1991, for the adoption of sewers the developer intends to build to serve the new houses. A bond to guarantee proper performance often supports the agreement by the developer of his obligations under the agreement. Such sewers are often required to be constructed to a particular standard before adoption can take place.

Septic Tank

A settlement chamber, which provides treatment to sewage and drainage waters. Overflow from the tank goes to a soak-away or drainage field or occasionally to a sewer. Septic tanks are un-powered. Properties operating them are responsible for the operation, maintenance and occasional emptying of the chamber. Septic tanks function excellently in well drained land. It is becoming less acceptable to operate a septic tank in low-lying land, particularly near rivers and streams. Any pollution problems precipitated by poorly performing septic tanks may mean they need to be decommissioned, and connections to the public sewer network need to be undertaken.

Sludge Main

A pressurised pipe carrying treated or partially treated sewerage sludge.

Soak-away or drainage field

Buried pipes or aggregates that allow treated effluents or surface waters to disperse. They are owned and maintained by the property owner.

Surface water sewer

A sewer used only for the transport of uncontaminated surface water or rainwater in an area where separate sewerage systems have been provided. This may discharge safely to a local watercourse or may combine with the foul sewerage system (to form a combined sewer) for treatment with the foul flows.

Water service company

A provider of sewerage and possibly water services in an area.

REQUIREMENTS

Requirements to be met by persons carrying out works near to water mains and sewers.

1. The precise position of water mains and sewers must be ascertained by hand digging trial holes after first contacting South West Water, who will give such information as is available regarding the general location of the mains and sewer in the area. No liability is accepted for the accuracy of any information given as to the position or existence of water mains and sewers. In particular, service pipes and drainage connection are not generally shown on mains records, but their presence should be anticipated and precautions taken to avoid damage.
2. Notices of intent must be given to South West Water before any works are carried out in the vicinity, except in cases of emergency when our Operations Centre should be contacted as soon as possible.
3. Unless prior written approval has been obtained, mechanical excavation may not be permitted around, or within, **3 meters** of the water main or sewer. Excavation may be necessary by hand.
4. Concrete haunches or surrounds to sewers must not be disturbed without prior written consent from South West Water.
5. Before backfilling, the mains and sewers will be inspected and any flaws or damage to the pipe or wrapping, if found, will be repaired by South West Water. All such flaws or damage must be immediately reported to the Company as soon as they are discovered. The carrying out of such repairs by South West Water shall not affect the question of liability, should any damage found to have resulted from the acts of those undertaking the works, their contractors, servants or agents.
6. Approved backfill will be used immediately around or over the mains and sewers to a minimum cover of 300mm and the remainder of the backfill shall be to the appropriate Highways Authority Specification for the Reinstatement of Openings in Highways.
7. Both the existing main or sewer and the new works shall be suitably supported to prevent future settlement and any subsequent damage to equipment.
8. Ground adjacent to concrete thrust blocks supporting the main(s) and sewer(s) must not be disturbed.
9. Adequate support must be given to all water mains and sewers where these are likely to be undermined, and to all trenches in the vicinity of these, during the process of the works.
10. **No apparatus** shall be laid on or over any land **within 300mm** measured horizontally from any part of a water main or sewer or other apparatus belonging to the Company. Provided always that this cause shall not prevent any pipe, cable or conducting medium being laid at an angle of between 45 and 90 degrees across the line of the Company's apparatus, with a vertical clearance in excess of **300mm**. In exceptional circumstances this clause may be varied or deleted with the prior written consent from South West Water.
11. **South West Water must be consulted before** any work representing an increased risk to the integrity of the mains or sewers (e.g., piling, using explosives, thrust boring, pipe bursting etc.) is carried out.
12. Facilities for inspecting all work carried out shall be given to South West Water with adequate notice.

DEVELOPMENT & TREE PLANTING

Development and Tree Planting adjacent to pipelines: Guidance for landowners

In accordance with the provisions of Clause 26 of South West Water's Code of Practice, you are advised that in order to maintain adequate future access to the pipeline and to avoid interference with it, it is necessary to ensure that the following guidelines are observed:

1. Buildings And Permanent Structures

Clear working strip:

A clear working strip along the pipe is required between buildings and permanent structures and this must be:-

Pipes up to 150mm diameter	6.0 metres
Pipes 151-600mm diameter	7.0 metres
Pipes 601mm diameter and over	9.0 metres

If a building or permanent structure is planned within these limits please contact our Development Planning team as Build Over consent may be required. Development Planning: developerservices@southwestwater.co.uk

Proximity of buildings:

No buildings or permanent structures should be placed within 3 metres of pipes below 300mm in diameter or within 3.5 metres of pipes of 300mm or over in diameter (distances measured from the centre of the pipe), and in addition, buildings and permanent structures must be constructed so as to ensure that no additional loads are transmitted to the pipe.

(N.B: Pipe sizes refer to the internal diameter / bore of the pipe).

2. Trees And Shrubs

Roots can damage pipelines over time and extensive root systems will limit access to the pipeline in breach of the Company's right to access for repair or replacement. As a rule of thumb, the root spread of a tree is approximately the same as its eventual canopy spread. To help you avoid damage or interference to the pipeline, the Company suggests the following guidelines:

- No large or forest trees should be planted with 7 metres of the pipeline (examples include Oak, Ash, Beech, Douglas Fir, Sitka Spruce etc.)
- Medium to small sized trees should always be planted in such a way as to ensure that the eventual root spread reaches no closer than 1 metre of the pipeline, in practice, if trees are planted a distance of 5 metres away from the pipeline, this should be sufficient.
- Bushes and shrubs should never be planted closer than 2 metres from the pipeline. Closer than 2 metres either side of the pipeline may be planted with hedge plants and ground cover only.

The measurements and distances set out are for guidance only and there will always be exception, for example: Poplars and Willows, which have a particularly invasive root system. If you are unsure of any individual case, then specialist advice should always be sought prior to planting.

The guidelines set out above are based on the Company's standard access requirements for its apparatus. If, for engineering reasons, the distances set out need to be varied at particular locations, you will be advised of this before compensation for works is finalised. If you need to know the precise underground location of a new water main / sewer after its installation, please contact any of the Company's local offices, and Company staff will be pleased to mark out the position of the pipeline within your land.

If the Company finds any infringement of its legal rights of access, or any damage being caused to the pipeline, the Company reserves the right to take appropriate action to ensure that there is no interference with its statutory apparatus.

**IN THE EVENT OF A LEAK OR PIPE COLLAPSE PLEASE CONTACT SOUTH WEST WATER
IMMEDIATELY ON 0344 346 2020 (24 HOURS)**

South West Water Limited T/A Source for Searches Terms & Conditions for Commercial CON29DW Enquiry

1 Introduction

1.1 These Terms set out the terms which will apply in respect of any Orders You place with us for a (i) Report (as defined in clause 2.1 below)
1.2 These Terms may need to be amended from time to time and have a publication date which will be updated when any changes are made. Every time You wish to place an Order, please check these Terms to ensure You understand the terms which apply at that time, as they may have changed since any earlier order You may have placed.
1.3 If You do not accept these Terms You must not place any Orders with us.
1.4 If You are trading as a business, it is also Your responsibility to ensure that prior to placing an Order on behalf of a Client, that You make Your Client aware of the Terms, and that they accept them

2 Interpretations & Definitions

2.1 In addition to any defined terms, the following words shall have the following meanings:
a 'Commercial Property' means the address(es) or location(s) of a commercial property provided by You when You place an Order.
b 'Report' means the report known as the "Commercial CON29DW" prepared by us providing drainage and water information in relation to a Commercial Property.
c 'Client' means the person, company or body (including where required, their mortgage lender) for whom You have agreed to supply one or more Reports in the normal course of Your business.
d 'Map' means any Ordnance Survey map (and any data contained therein) provided as part of the Services.
e 'Order' means any request for a Report made by You to us.
f 'Terms' means these terms and conditions for Commercial CON29DW enquiries and General Terms means any general commercial terms in effect between You and Us.
g 'You' and 'Your' means the person, firm or company requesting the provision of property-related and company search information and reports from us.
h 'We', 'Our' and 'Us' means South West Water Limited T/A Source for Searches, being a company registered in England and Wales with company number 02366655, and whose registered office address is at South West Water Limited T/A Source for Searches, Peninsula House, Rydon Lane, Exeter, EX2 7HR, and whose principal place of trading is at South West Water Limited, Peninsula House, Rydon Lane, Exeter, EX2 7HR
i 'Website' means www.sourceforsearches.co.uk
j 'Services' means the provision of a Report.

3 Placing Orders and our Agreement

3.1 Your Order constitutes an offer by You to purchase Report(s) from Us.
3.2 When You place an Order, You will receive an e-mail from us acknowledging that we have received Your Order but this does not mean we have accepted Your Order.
3.3 We may choose not to accept Your Order, but on the rare occasion that this may occur, we will aim to notify You within 5 working days. For the avoidance of doubt, no contract will exist between Us until we have expressly accepted Your Order.

4 Cancellation rights

As a consumer
4.1 Where You are an individual consumer (and not acting for purposes wholly or mainly relating to Your trade, business, craft or profession), You have specific legal rights relating to cancellation of any Order You may place. You may cancel Your Order at any time within 14 days after the day on which the contract is entered into ("Cancellation Period")
4.2 To exercise the right to cancel, You must tell us of Your decision to cancel this contract by a clear statement.
4.3 Where You are ordering a Report as a consumer, due to Your cancellation rights, we will not process Your Order or provide the Report to You before the end of the Cancellation Period unless You provide Your express consent and You acknowledge that You will lose the right to cancel the contract under regulation 28(1) of the Consumer Contracts (Information, Cancellation, and Additional Charges) Regulation 2013.
4.4 In addition to these rights, where we are able to, we will cancel any Order in accordance with our cancellation policy, which can be found on our Website.
As a Business
4.5 The Cancellation Period does not apply to Your Order if You are placing the Order wholly or mainly for purposes relating to Your trade, business, craft or profession.
4.6 If You cancel Your Order other than in accordance with this clause You may be liable for fees as detailed in our cancellation policy at: www.sourceforsearches.co.uk

5 The Report

5.1 We will prepare the Report using the Commercial Property details You provide at the time You place Your Order. The Report You receive will rely on the accuracy, completeness and legibility of the address and/or plans You supply with Your Order.
5.2 The Report is produced only for use in relation to Commercial Properties, development or land which require the provision of drainage and water information and cannot be used for residential properties, development of land or any property to be developed as a single, residential, domestic property. Where You require a report for a residential property, You can order a different report from us, and different terms shall apply.
5.3 The Report provides information as to the indicative location and connection status of existing services and other information relating to drainage and water enquiries and should not be relied on for any other purpose (including the potential and/or suitability for any other connections to be made to existing services).
5.4 As You may expect, the information contained in the Report can change on a regular basis so we cannot be responsible to You or if You are trading as a business to Your Client for any change in the information contained in the Report after the date on which the Report was produced (as shown in the Report).
5.5 The Report does not give details about the actual state or condition of the Commercial Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Commercial Property for any particular purpose, or be relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.
5.6 We will send the Report to the address You have provided in Your Order, including email address for online Orders.
5.7 You agree only to use the Report for the purpose for which it is supplied in accordance with these Terms.
5.8 Where we accept Your Order:
a. we will provide the Services with reasonable skill and care; and
b. Your Order will be fulfilled within a reasonable period.
5.9 In providing the Report, we will comply with all laws and regulations which apply to the provision of the Report including ensuring that we have all the necessary licences and permissions, including intellectual property rights to provide the Report.

5.10 It is Your responsibility to ensure that Your Order, and the Report meet Your requirements if You are trading as a business the requirements of Your Client.
5.11 In providing You with this Report, we will comply with the Drainage & Water Searches Network (DWSN) Standards.

6 Disclaimers with regard to the Reports

6.1 The position and depth of apparatus shown on any maps attached to the Report are approximate, and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made in the vicinity of The Company's apparatus. Please be aware of specific disclaimers included in the Maps.

7 Intellectual Property Rights

7.1 The Report You receive is confidential and is intended for (a) Your own internal or personal purposes and/or (b) where You are trading as a business, the personal use of Your Client. The Report shall not be used or copied (in whole or in part) for any other use whatsoever, whether for commercial gain or otherwise.
7.2 We grant You a non-exclusive and non-transferable licence:
a to make copies of the Reports (except the Map) for Your own internal purposes;
b to incorporate the Reports (other than the Map) into any written advice You provide in the normal course of Your business; and
c to disclose the Reports, where You are trading as a business, in the normal course of Your business to:
i Your Client; and/or
ii anyone who is acquiring or considering acquiring an interest in or charge over the property to which the Report relates, and their professional advisers.
7.3 You must not alter any part of the Report including altering, removing or obscuring any logos and/or branding which is contained in a Report.
7.4 All intellectual property rights, including trademarks, domain names and copyright in the Reports are owned by us and/or our licensors.
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a if we do not accept Your Order;
b for any inaccuracies, mistakes or omissions in the Reports unless any such liability arises as a direct consequence of our negligence.
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10 Additional Provision relating to our Liability to You for the Report

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11.1 South West Water T/A Source for Searches offer a robust complaints procedure which can be found on our Website or here: www.sourceforsearches.co.uk
11.2 If your complaint has gone through our complaints procedure and you are dissatisfied with the response or it has exceeded our response timescales, you may refer your complaint for consideration under The Property Ombudsman Scheme (TPOS). You can obtain further information by visiting www.tpos.co.uk or email admin@tpos.co.uk. The Ombudsman can award compensation up to a maximum of £25,000.
In addition to the TPO redress scheme covering consumers, TPO will also provide redress for small businesses (including Charities and Trusts) that meet the following criteria:
- a small business (or group of companies) with an annual turnover of less than £3 million;
- a charity with an annual income of less than £3 million;
- a Trust with a net asset value of less than £3 million.

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12.1 These Terms (and any General Terms or other documents referred to herein) are the only terms and conditions that shall apply to any Order and the provision of a Report by us to You and shall constitute the entire agreement between You and us and supersede, replace and extinguish any previous arrangement, understanding or agreement between us relating to such Report.
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12.6, it is not intended that any other person who is not a party to these Terms has any right to enforce any term of these Terms under the Contracts (Rights of Third Parties) Act 1999

Version date: June 2024

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Mining search

A valuable indicator for possible
issues with underlying mine
shafts



Contact South West Water:

Accounts helpline: 0344 346 1010
Services helpline: 0344 346 2020

Registered in England No: 2366665

**REGISTER OF LOCAL LAND CHARGES
OFFICIAL CERTIFICATE OF SEARCH**

Search Reference: E2/2526/05871

Date: 19-Sep-2025

X-Press Legal Services

The Hill House

St Martins Road,
Looe
PL13 1LP

E2-00761091

Official Search required in all parts of the Register of Local Land Charges for subsisting registrations against the land described and the plan submitted.

Land: Land adjacent to 9
Harebell Close
Saltash
Cornwall
PL12 6XL

It is hereby certified that the search requested above reveals the 12 registrations described in the Schedule(s) hereto up to and including the date of this certificate.

Signed: Louise Wood
On behalf of: Cornwall Council

Cornwall Council

Register of Local Land Charges Schedule to Official Certificate of Search

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Agreement dated 25th September 1998 under Section 106 Town and Country Planning Act 1990 Deed of Variation dated 2nd May 2000 Ref:3F/687 TLC Ref: PT6974062	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	05/03/2001
5/95/00345/O Residential development and associated site works and access Town and Country Planning Act 1990 TLC Ref: PT6974049	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	15/12/2000
Agreement dated 2nd May 2000 containing covenants under Section 106 Town and Country Planning Act 1990 Ref:3F/666 TLC Ref: PT6974061	Cornwall Council, County Hall, Truro TR1 3AY	Cornwall Council, Luxstowe House, Liskeard	04/05/2000
5/96/00194/O Residential development and associated site works and access Town and Country Planning Act 1990 TLC Ref: PT6974050	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997
Agreement dated 30th September 1997 under Section 106 Town and Country Planning Act 1990 Ref:3F/601 TLC Ref: PT6974058	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997
Agreement dated 30th September 1997 under Section 106 Town and Country Planning Act 1990 Ref:3F/602	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/10/1997

Cornwall Council
**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
TLC Ref: PT6974059 Reserved Matters Conditional Planning Permission dated 09/10/2001 Reserved matters application in respect of strategic landscaping of site also including construction of play areas, cycleways and footpaths (Following Outline Approval No. APP/KO805/A/96/263790). Application Number: E2/00/01480/REM Issued to: Cofton Ltd, Barratts, Wimpey And Persimmon Homes TLC Ref: AP2064166	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	09/10/2001
Reserved Matters Conditional Planning Permission dated 16/08/2001 Reserved Matters for 139 dwellings with garaging, parking and estate roads. Construction of new vehicular/pedestrian access to highway (following outline approval APP/KO805/A/96/263790 dated 12.11.98. Application Number: E2/00/01030/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063637	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	16/08/2001
Reserved Matters Conditional Planning Permission dated 09/04/2001 Construction of estate roads and associated drainage infrastructure (Reserved matters following decision 95/0345/0 approved on appeal	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	09/04/2001

Cornwall Council**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
decision APP/K0805/A/96/263790 dated 12.11.98). Application Number: E2/00/00471/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063030			
Full application Conditional Planning Permission dated 29/11/2000 Variation of Planning condition 'V' of Department of the Environment decision No K0805/A/96/263790 to substitute 'masterplan' Layout Drg DS735 SK07/K by a revised 'masterplan' Layout Drawing. Application Number: E2/00/00777/FUL Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063355	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	29/11/2000
Reserved Matters Conditional Planning Permission dated 15/11/2000 Construction of Phase 1 of access road and drainage infrastructure (Reserved matters following decision 95/0346/O approved on appeal decision APP/K0805/A/96/263791 dated 12.11.98). Application Number: E2/00/00472/REM Issued to: Cofton Ltd, Barratt, Wimpey And Persimmon Homes Ltd TLC Ref: AP2063032	Caradon District Council, Luxstowe House, Liskeard	Cornwall Council, Luxstowe House, Liskeard	15/11/2000
Tree Preservation Order	Caradon District Council, Luxstowe	Cornwall Council, Luxstowe House,	15/11/2000

Cornwall Council**Register of Local Land Charges
Schedule to Official Certificate of Search**

Part 3: Planning Charges (b) Other planning charges			
Description of charge (including reference to appropriate statutory provision)	Originating Authority	Place where relevant documents may be inspected	Date of Registration
Conditional Planning Permission dated 15/11/2000 Application to fell (and replace where appropriate) diseased and/or dangerous trees, coppice, crown lift/reduce and other works for reasons of health of the trees and public safety, on trees subject to a Tree Preservation Order Application Number: E2/00/00870/TPO Issued to: Cofton Land And Property Ltd TLC Ref: AP2063458	House, Liskeard	Liskeard	

**REPLIES TO CON29 ENQUIRIES
OF LOCAL AUTHORITY (2016 Edition)**

X-Press Legal Services
The Hill House

St Martins Road,
Looe
PL13 1LP

E2-00761091

Search Reference:E2/2526/05871

Date: 22-Sep-2025

Property: Land adjacent to 9
Harebell Close
Saltash
Cornwall
PL12 6XL

**Other Roads
etc:**

I refer to your Standard Enquiries relating to the above property. These replies relate to that property as shown on the location plan where supplied. The replies are given subject to the Notes to the Standard Enquiries.

All correspondence relating to these answers should quote the official Search Reference.

Standard Enquiries of Local Authority

PLANNING AND BUILDING REGULATIONS

1.1 Planning and building decisions and pending applications

(a) 95/0345/O

Residential development and associated site works and access

4.11.97

Allowed on Appeal

Conditional

96/0194/O

Residential development and associated site works and access.

Conditional Consent

30.9.97

Reference: E2/00/00471/REM

Construction of estate roads and associated drainage infrastructure

(Reserved matters following decision 95/0345/O approved on appeal decision APP/K0805/A/96/263790 dated 12.11.98).

Date Decision Issued : 09/04/2001

Decision :Application Permitted with S106

Reference: E2/00/00472/REM

Construction of Phase 1 of access road and drainage infrastructure (Reserved matters following decision 95/0346/O approved on appeal decision APP/K0805/A/96/263791 dated 12.11.98).

Date Decision Issued : 15/11/2000

Decision :Approved with conditions

Reference: E2/00/00777/FUL

Variation of Planning condition 'V' of Department of the Environment decision No K0805/A/96/263790 to substitute 'masterplan' Layout Drg DS735 SK07/K by a revised 'masterplan' Layout Drawing.

Date Decision Issued : 29/11/2000

Decision :Approved with conditions

Reference: E2/00/00870/TPO

Application to fell (and replace where appropriate) diseased and/or dangerous trees, coppice, crown lift/reduce and other works for reasons of health of the trees and public safety, on trees subject to a Tree Preservation Order

Date Decision Issued : 15/11/2000

Decision : Approved with conditions

Reference: E2/00/01030/REM

Reserved Matters for 139 dwellings with garaging, parking and estate roads. Construction of new vehicular/pedestrian access to highway (following outline approval APP/K0805/A/96/263790 dated 12.11.98.

Date Decision Issued : 16/08/2001

Decision : Approved with conditions

Reference: E2/00/01480/REM

Reserved matters application in respect of strategic landscaping of site also including construction of play areas, cycleways and footpaths (Following Outline Approval No. APP/K0805/A/96/263790).

Date Decision Issued : 09/10/2001

Decision : Approved with conditions

(b) None.

(c) None.

(d) None.

(e) None.

(f) None

(g) None

(h) None

(i) None

(j) None

(k) None

(l) None.

Informative

- (1) *This reply does not cover other properties in the vicinity of the property.*
- (2) *As from 1 April 2002 the installation of a replacement window, rooflight or roof window or specified type of glazed door must either have building regulation approval or be carried out and certified by a person who is registered under the Fenestration Self-Assessment Scheme by the Glass and Glazing federation.*
- (3) *Answers to enquiries 1(j) - 1(l) are based on the best information readily available from the Authority's computer records, at the time of the search.*
- (4) *As there are a number of self certification schemes in operation, it is strongly recommended that the owner/occupier of the property be asked to produce a certificate for any works covered by such a scheme.*
- (5) *Initial Notices (reference numbers prefixed IN) are submitted to the Council by Approved Inspectors and enquiries as to the status of the development should be made to the relevant inspecting body. Please refer to the website cic.org.uk*
- (6) *Enquiries should be made with the Building Safety Regulator for answers to questions 1.1j,k & l for applications received on high rise buildings since 1st October 2023.*
- High-rise buildings are defined as having 7 or more storeys and/or being 18 metres or more high, and either having at least 2 residential units or being hospitals or care homes (during design and construction).*
- For further information please visit <https://www.hse.gov.uk/building-safety/regulator.htm>*
- You may also wish to make enquiries of developers of new buildings and/or managing agents of existing buildings.*

1.2 Planning designations and proposals

Cornwall Local Plan, Strategic Policies 2010-2030 were adopted 22nd November 2016, for information go to www.cornwall.gov.uk/localplancornwall

Designations: None

Informative

The above replies include policies or proposals in any existing development plans and in proposed alterations to development plans, but not those in planning guidance notes.

Consideration should be given to asking Optional Enquiry No.16 on the Con 290 (Mineral Consultation Areas), which although not a designation may on investigation affect the property.

ROADS AND PUBLIC RIGHTS OF WAY

2.1 Roadways, footways and footpaths

(a) Harebell Close and Footways.

Paths and Parking Area NOT adopted.

(b) None

(c) None

(d) None

Informative

(1) The reply to enquiry 2a is restricted to roads, footways and footpaths

maintainable at public expense within the meaning of the Highways Act 1980 (s.36). If the road, footway or footpath is not a publicly maintainable highway, the Council cannot express an opinion as to what rights of access may exist over it. An affirmative reply does not imply that the publicly maintainable highway directly abuts the boundary of the property. If information regarding the limits of the highway is required, a separate enquiry, including a plan showing the area in question, should be made to the Land Charges Highway Team, whereupon it will be forwarded to the relevant Divisional Highways Office. An additional fee will be charged for this information.

(2) The reply to enquiry 2a does not include footpaths, bridleways or byways as shown on the revised definitive map which may or may not be maintainable at the public expense.

Public rights of way

2.2 Is any public right of way which abuts on, or crosses the property, shown in a definitive map or revised definitive map?

No

2.3 Are there any pending applications to record a public right of way that abuts, or crosses the property, on the Register?

No

2.4 Are there any legal orders to stop up, divert, alter or create a public right of way which abuts, or crosses the property not yet implemented or shown on a definitive map?

No

2.5 If so, please attach a plan showing the approximate route.

N/A

Informative

The replies to this enquiry are without prejudice to any other public rights of way that are not shown on the definitive map

OTHER MATTERS

3.1 Land required for public purposes

No

3.2 Land to be acquired for road works

No

Informative

The reply to enquiry 3.2 is answered with respect to schemes that have been approved for construction by the council, or have been notified to the council by any other highway authority.

3.3 Drainage matters

(a) At present there is no requirement for the Council to adopt SuDs and as such all SuDs will be in the ownership of the Developer/landowner or transferred to the property owner.

The Council, via the planning process, will work with developers to agree SuDs schemes in accordance with the National Non Statutory Standards. Planning conditions may be imposed on individual planning applications requiring developers to make arrangements for the long term management and maintenance of SuDs

(b) Any specific SuDs features located on individual properties will be identified on final construction drawings produced by the developer and transferred to legal property deeds

(c) Longterm management and any financial arrangements for maintenance of SuDs is the responsibility of the developer/landowner who may choose to make arrangements for financial contributions towards SuDs maintenance from property owners.

3.4 Nearby road schemes

- (a) No
- (b) No
- (c) No
- (d) No
- (e) No
- (f) No

Informative

(1) The replies to enquiries 3.4.(a - f) relate to roads that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act1980(s36). The replies to enquiries 3.4 (c) (d) and (f) refer to proposals involving carriageway widening that include additional lanes for motor vehicles. The widening of approaches to proposed junction improvements and schemes that only consist of acceleration/deceleration lanes are not included here but will be revealed in the reply to enquiry 3.6 (i).

(2) If the reply to enquiry 3.4.(a, b, c, e or f) is positive and relates to the A30 or A38, please refer to: The Highways Agency, Ash House, Falcon Road, Sowton Industrial Estate, Exeter EX2 7LB for further details

3.5 Nearby railway schemes

- (a) No
- (b) No

Informative

(1) The replies to enquiries 3.4.(a - f) relate to roads that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act1980(s36). The replies to enquiries 3.4 (c) (d) and (f) refer to proposals involving carriageway widening that include additional lanes for motor vehicles. The widening of approaches to proposed junction improvements and schemes that only consist of acceleration/deceleration lanes are not included here but will be revealed in the reply to enquiry 3.6 (i).

(2) If the reply to enquiry 3.4.(a, b, c, e or f) is positive and relates to the A30 or A38, please refer to: The Highways Agency, Ash House, Falcon Road, Sowton Industrial Estate, Exeter EX2 7LB for further details

3.6 Traffic schemes

- (a) No
- (b) No
- (c) No
- (d) No
- (e) No
- (f) No
- (g) No
- (h) No
- (i) No
- (j) No
- (k) No
- (l) No

Informative

(1) The replies to these enquiries relate to permanent or experimental proposals on roads, footways and footpaths that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act 1980 (s36).

(2) The reply to (g) relates to proposals that involve physical construction on the carriageway but not to changes in speed limits.

(3) The reply to (h) refers to proposals for the introduction or removal of residents parking controls. Amendments to existing waiting and loading restrictions within a residents controlled parking area will be revealed in the reply to enquiry 3.6 (b).

(4) The reply to (i) covers proposals such as junction improvements, turning and acceleration/deceleration lanes etc., which are not revealed in the reply to enquiry 3.4. Pedestrian improvements (other than the construction of new footways) and improvements that are purely maintenance will not be revealed.

(5) The reply to (k) covers cycle tracks and marked cycle lanes, but not advisory routes.

3.7 Outstanding notices

- (a) No
- (b) No

(c) No

(d) No

(e) No

(f) No

(g) No

3.8 Contravention of building regulations

No

3.9 Notices, orders, directions and proceedings under Planning Acts

(a) No

(b) No

(c) No

(d) No

(e) No

(f) No

(g) No

(h) No

(i) No

(j) No

(k) No

(l) No

(m) No

(n) No

3.10 Community infrastructure levy (CIL)

(a) Yes

Please see our website at www.cornwall.gov.uk/cil, which includes a Frequently Asked Questions page. For more complex queries please direct these to cil@cornwall.gov.uk.

(b) (i) a liability notice?

No.

(ii) a notice of chargeable development?

No.

(iii) a demand notice?

No.

(iv) a default liability notice?

No.

(v) an assumption of liability notice?

No.

(vi) a commencement notice?

No.

(c) No

(d) N/A

(e) No

(f) No

(g) No

(h) No

3.11 Conservation area

(a) No

(b) No

3.12 Compulsory purchase

No

3.13 Contaminated land

(a) No

(b) No

(c) No

Informative

Negative answers do not imply that the property or any adjoining or adjacent land is free from contamination or from the risk of it, and the reply may not disclose steps taken by another Council in whose area adjoining or adjacent land is situated.

3.14 Radon gas

Yes most of Cornwall is a radon affected area with small pockets of land unaffected. The estimated radon potential for an individual home can be obtained through a website. www.UKradon.org

3.15 Assets of Community Value

(a) No

(b) N/A

Informative

(1) The replies to enquiries 3.1 to 3.12 relate only to matters which are not entered on the Local Land Charges Register. another Council in whose area adjoining or adjacent land is situated.

(2) For any enquiries or copy documents please contact Local Land Charges Section, Cornwall Council. Tel: 0300 1234 151 Email: landcharges@cornwall.gov.uk

Reply Notes:

These replies have been given in accordance with the notes appended to CON29 form.

References to the provisions of particular Acts of Parliament or Regulations include any provisions which they have replaced and also include existing or future amendments or re-enactments.

The replies will be given in the belief that they are in accordance with information presently available to the officers of the replying local authority, but none of the local authorities or their officers accepts legal responsibility for an incorrect reply, except for negligence. Any legal responsibility for negligence will be owed to the person who raised the enquiries and the person on whose behalf they were raised. It will also be owed to any other person who has knowledge (personally or through an agent) of the replies before the time when he purchases, takes a tenancy of, or lends money on the security of the property or (if earlier) the time when he becomes contractually bound to do so.

This Form should be read in conjunction with the guidance notes available separately.

Area means any area in which the property is located.

References to the Local Authority include any predecessor Local Authority and also any Local Authority committee, sub-committee or other body or person exercising powers delegated by the Local Authority and their approval includes their decision to proceed. The replies given to certain enquiries cover knowledge and actions of both the District Local Authority and County Local Authority.

Optional Enquiries

COMMON LAND AND TOWN OR VILLAGE GREEN

22.1. Is the property, or any land which abuts the property, registered common land or town or village green under the Commons Registration Act 1965 or the Commons Act 2006?

No

22.2. Is there any prescribed information about maps and statements, deposited under s.15A of the Commons Act 2006, in the register maintained under s.15B(1) of the Commons Act 2006 or under s.31A of the Highways Act 1980?

No

22.3. If there are any entries, how can copies of the matters registered be obtained and where can the register be inspected?

N/A

Informative

1)The replies to enquiries 3.1 to 3.12 relate only to matters which are not entered

on the Local Land Charges Register.

(2)For any enquiries or copy documents please contact Local Land Charges Section, Cornwall Council. Tel: 0300 1234 151

Email: landcharges@cornwall.gov.uk



Screening



LAND ADJACENT TO 9 HAREBELL CLOSE,
PILLMERE, SALTASH, PL12 6XL



Reference:
XP-JE1-00761091_3377321

Grid reference:
241488 059703

Your reference:
SAL249/2

Date:
16 September 2025

Consultant's guidance and recommendations inside.

Written by:



J van Leusen MSci

j.van-leusen@groundsure.com

Professional opinion

Key results



Acceptable risk

Contaminated land

Page 3 →

Groundsure has not identified any risks of concern relating to contaminated land liabilities under Part 2A of the EPA 1990.



Negligible

Flooding

Page 20 →

No flood risks of significant concern have been identified at the site.

Other results



Ground stability

Page 21

Not identified

Summary →



Radon

Page 27

Identified

Summary →



Planning constraints

Page 29

Not identified

Summary →



Energy

Page 30

Identified

Summary →



Transportation

Page 40

Not identified

Summary →

A full assessment of these features is available in our [Energy & Transportation report](#). Contact Groundsure or your search provider for further details.

All recommendations

Page 44

Appendix →



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ClimateIndex™

Page 22

Summary →

Physical risks

ClimateIndex™ projects changes in physical risks from **flooding, ground stability and coastal erosion**.

A

5 years

Negligible

A

30 years

Negligible

Rating key

A

B

C

D

E

F

Negligible risk → High risk

Transition risks

ClimateIndex™ covers transition risks including **energy efficiency**.

Recent aerial photograph



Aerial photography supplied by Getmapping PLC. © Copyright Getmapping PLC 2025. All Rights Reserved.

Capture Date: 06/08/2022

Site Area: 0.02ha



Contaminated land ?

Acceptable risk

The Contaminated Land Assessment was completed using a detailed risk assessment designed by qualified Environmental Consultants.

Section links

Consultant's assessment → Current/recent land use →
Past land use → Hydrogeology →
Waste and landfill → Hydrology →

Past land use

Acceptable risk



Waste and landfill

Acceptable risk



Current/recent land use

Acceptable risk



Contaminated land liability

Banking security

Is it likely that the property will represent acceptable banking security from a contaminated land perspective?

Yes

Statutory or 3rd party action

Is there a risk of statutory (e.g. Part 2A EPA 1990) or third party action being taken against the site?

Unlikely

Environmental liability

Is there a risk that the property value may be impacted due to contaminated land liability issues?

Unlikely

Next steps

Groundsure considers there to be an acceptable level of risk at the site from contaminated land liabilities.

If you require further advice, please contact our customer services team on 01273 257 755 or e-mail at info@groundsure.com.



Contaminated land

Consultant's assessment ?

The Contaminated Land Assessment was completed using a detailed risk assessment designed by qualified Environmental Consultants.

Section links

Consultant's assessment	→	Current/recent land use	→
Past land use	→	Hydrogeology	→
Waste and landfill	→	Hydrology	→

[Back to section summary](#) →

Environmental searches are designed to ensure that significant hazards and risks associated with this property are identified and considered alongside the investment in or purchase of a property.

Current land use

The site is currently a plot of undeveloped open space.

Historical land use

On-site

No potentially contaminative land uses of concern have been identified.

Surrounding area

No potentially contaminative land uses of concern have been identified near to the site.

Site setting

Potentially vulnerable receptors have been identified including site users, residents of properties in proximity, the underlying aquifers, surface water features in proximity.

Conclusion

Groundsure has not identified a potential contaminant-pathway-receptor relationship that may give rise to significant environmental liability. Please refer to the Contaminated Land assessment methodology contained within this report.





Contaminated land data summary

Past land use	On-Site	0-50m	50-250m
Former industrial land use (1:10,560 and 1:10,000 scale)	0	0	5
Former tanks	0	0	2
Former energy features	0	0	14
Former petrol stations	0	0	0
Former garages	0	0	3
Former military land	0	0	0
Waste and landfill	On-Site	0-50m	50-250m
Active or recent landfill	0	0	0
Former landfill (from Environment Agency Records)	0	0	0
Former landfill (from Local Authority and historical mapping records)	0	0	0
Waste site no longer in use	0	0	0
Active or recent licensed waste sites	0	1	0
Current and recent land use	On-Site	0-50m	50-250m
Recent industrial land uses	0	0	16
National Geographic Database (NGD) - Current or recent tanks	0	0	0
Current or recent petrol stations	0	0	1
Historical licensed industrial activities	0	0	0
Current or recent licensed industrial activities	0	0	0
Local Authority licensed pollutant release	0	0	1
Pollutant release to surface waters	0	0	0
Pollutant release to public sewer	0	0	0
Dangerous industrial substances (D.S.I. List 1)	0	0	0
Dangerous industrial substances (D.S.I. List 2)	0	0	0
Dangerous or explosive sites	0	0	0
Hazardous substance storage/usage	0	0	0
Sites designated as Contaminated Land	0	0	0
Pollution incidents	0	0	3

Past land use

Acceptable risk

The data summarised in this section relates to potentially contaminative land uses and operations that happened historically at and around the site.

Section links

[Back to section summary](#) →

Consultant's assessment → Current/recent land use →

Past land use → Hydrogeology →

Waste and landfill → Hydrology →



— Site Outline

Search buffers in metres (m)

 Former industrial land uses

Former tanks

Former energy features

■ Former garages

Former industrial land use (1:10,560 and 1:10,000 scale)

These historical land uses have been identified from 1:10,560 and 1:10,000 scale Ordnance Survey maps dated from the mid to late 1800s to recent times. They have the potential to have caused ground contamination. Please see the Environmental Summary to find out how these could impact the site.

Distance	Direction	Use	Date
53 m	NW	Industrial Trading Estate	1992
54 m	NW	Unspecified Factory	1983
158 m	W	Unspecified Depots	1983



Distance	Direction	Use	Date
210 m	NW	Unspecified Depot	1972
240 m	W	Unspecified Depots	1983

This data is sourced from Ordnance Survey/Groundsure.

Former tanks

These tanks have been identified from high detailed historical Ordnance Survey maps dating from the mid-late 1800s to recent times. Tanks like this can sometimes store harmful waste, chemicals or oil, as well as more benign substances. Liquids stored in these tanks can leak when the tanks rust or become damaged over time, which could have caused contamination at this site.

Distance	Direction	Use	Date
146 m	E	Unspecified Tank	1952
175 m	NW	Tanks	1997

This data is sourced from Ordnance Survey/Groundsure.

Former energy features

Energy features such as substations, transformers or power stations have been identified from high detailed historical Ordnance Survey maps dating from the mid to late 1800s to recent times. Structures like this can sometimes cause soil or groundwater contamination.

Distance	Direction	Use	Date
146 m	N	Electricity Substation	1979
147 m	N	Electricity Substation	1997
147 m	N	Electricity Substation	1983
147 m	N	Electricity Substation	1990
178 m	NE	Electricity Substation	1986
193 m	SE	Electricity Substation	1997
228 m	SW	Electricity Substation	1969
228 m	SW	Electricity Substation	1972
228 m	SW	Electricity Substation	1979
228 m	SW	Electricity Substation	1983
228 m	SW	Electricity Substation	1990
229 m	SW	Electricity Substation	1997
229 m	SW	Electricity Substation	1986
229 m	SW	Electricity Substation	1990



This data is sourced from Ordnance Survey/Groundsure.

Former garages

These garages have been identified from high detailed historical Ordnance Survey maps dating from the mid to late 1800s to recent times. They have the potential to cause ground contamination. This can be because spills can occur when fuel, oil or solvents are used causing ongoing pollution. Older and obsolete garages are considered a greater risk than newer ones, as tanks can remain underground and deteriorate, sometimes causing significant leaks.

Distance	Direction	Use	Date
106 m	N	Garage	1997
198 m	N	Garage	1979
219 m	N	Garage	1983

This data is sourced from Ordnance Survey/Groundsure.

Contaminated land

Waste and landfill ?

Acceptable risk

The data summarised in this section relates to closed and active landfill sites in the area as well as any waste treatment or storage facilities. These land uses can cause significant ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



— Site Outline
Search buffers in metres (m)
● Active or recent licensed waste sites

Active or recent licensed waste sites

These are records of waste sites that are operated under licence. Waste operations require an environmental permit (from Environment Agency or Natural Resources Wales) if the business uses, recycles, treats, stores or disposes of waste or mining waste. The permit can be for activities at one site or for a mobile plant used at many sites. Depending on the nature of waste being accepted by these facilities, there could be risk of ground contamination. Some waste sites can also cause nuisance problems due to noise, dust and odour.

Screening



ID	Distance	Direction	Address	Type	Size	Status
1	5 m	SE	Environmental Sealand Services, Tamar View Ind Est, Saltash, Cornwall, PL12 6LD	Special Waste Transfer Station	Medium	Revoked

This data is sourced from the Environment Agency/Natural Resources Wales.



Contaminated land
Current and recent land use ?

Acceptable risk

The data summarised in this section relates to current and recent commercial and industrial land uses and operations that could have the potential to cause ground contamination risks.

- Section links
- Consultant's assessment

→

Current/recent land use

→
- Past land use

→

Hydrogeology

→
- Waste and landfill

→

Hydrology

→



- Site Outline
- Search buffers in metres (m)
- Recent industrial land uses

△ Current or recent petrol stations

📍 Local Authority licensed pollutant release

● Pollution incidents

Recent industrial land uses

These records show details of businesses that have recently operated, or are currently operating in the area. Depending on the type of activities taking place, some of these businesses could present a risk of contamination.

ID	Distance	Direction	Company / Address	Activity	Category
2	98 m	N	Underlay Direct - Unit 5 Burley Court, Pillmere Drive, Saltash, Cornwall, PL12 6FH	Carpets, Flooring, Rugs and Soft Furnishings	Consumer Products

Screening



ID	Distance	Direction	Company / Address	Activity	Category
3	115 m	N	BP Service Station - Saltash Industrial Estate, Brunel Road, Saltash, Cornwall, PL12 6LF	Petrol and Fuel Stations	Road and Rail
4	135 m	NW	Fresh N Local - Unit 4 Burley Court, Pillmere Drive, Saltash, Cornwall, PL12 6FH	Fruit, Flower and Vegetable Growers	Farming
5	150 m	NE	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities
6	167 m	N	K G S Carz - Car Sales at Front Unit 3b, Gilston Road, Saltash, Cornwall, PL12 6TW	Vehicle Repair, Testing and Servicing	Repair and Servicing
7	169 m	NE	Saltash Industrial Estate - Cornwall, PL12	Business Parks and Industrial Estates	Industrial Features
8	170 m	N	Omega Print & Signs - Unit 6 Castle Buildings, Gilston Road, Saltash, Cornwall, PL12 6TW	Clothing, Components and Accessories	Consumer Products
9	171 m	N	Evans Halshaw - Saltash Parkway Industrial Estate, Saltash, Cornwall, PL12 6LF	New Vehicles	Motoring
11	182 m	N	Works - Cornwall, PL12	Unspecified Works Or Factories	Industrial Features
12	190 m	SE	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities
13	213 m	W	Westward Building Services - Moorlands Trading Estate, Callington Road, Saltash, Cornwall, PL12 6LU	Tools Including Machine Shops	Industrial Products
14	213 m	N	Independent Slate Supplies Ltd - Saltash Industrial Estate, Gilston Road, Saltash, Cornwall, PL12 6TW	Stone Quarrying and Preparation	Extractive Industries
16	235 m	SW	Electricity Sub Station - Cornwall, PL12	Electrical Features	Infrastructure and Facilities
17	236 m	NW	Appleby Westward - Moorlands Trading Estate, Callington Road, Saltash, Cornwall, PL12 6LX	Distribution and Haulage	Transport, Storage and Delivery
19	241 m	N	Saltash Parkway Industrial Estate - Cornwall, PL12	Business Parks and Industrial Estates	Industrial Features
21	249 m	NE	Keynon Canopy Slate & Stone - 6, Gilston Road, Saltash, Cornwall, PL12 6TW	Stone Quarrying and Preparation	Extractive Industries

This data is sourced from Ordnance Survey.



Current or recent petrol stations

Petrol stations and their associated storage tanks are considered a risk for soil and groundwater contamination. This is because spills can occur when fuel tanks are filled and leaks from these tanks can cause ongoing pollution. Older and obsolete petrol stations are considered a greater risk than newer ones, as fuel tanks can remain underground and deteriorate, sometimes causing significant leaks. In some cases, fuels such as petrol or diesel can spread beneath the surface, meaning that properties can be affected even when they are some distance away.

ID	Distance	Direction	Company	Address	Status
15	221 m	NW	UNBRAN DED	Forge Lane, Saltash, Cornwall, PL12 6LX	Non-Retail

This data is sourced from Experian Catalist.

Local Authority licensed pollutant release

Industrial facilities that release pollutants to the environment (air, land or water) may be regulated by the Local Authority and hold a Part A(2) or Part B process authorisation or licence. These processes could include the burning of waste oils, paint spraying and petrol vapour recovery. There could be a risk of ground contamination if harmful materials associated with these processes are not stored and handled correctly.

ID	Distance	Direction	Address	Local Authority	Processes Undertaken	Permit Type	Details of Enforcement
20	244 m	NW	Granada Petrol Filling Station, Granada Services, Callington Road, Saltash, PL12 6LF	Cornwall District Council	Unloading of Petrol into Storage at Service Stations	Part B	Enforcement: No Enforcements Notified Date of Enforcement: No Enforcements Notified Comment: No Enforcements Notified

This data is sourced from Local Authorities.

Pollution incidents

Environment Agency keep records of all major or significant pollution incidents that are known to have impacted the land, water or air. The location provided for these records may relate to the location of the incidents but may sometimes be recorded where the effects of the incident was reported.

ID	Distance	Direction	Incident Date	Land Impact	Water Impact	Pollutant
1	75 m	W	03/11/2003	Category 4 (No Impact)	Category 3 (Minor)	Other Contaminated Water
10	176 m	NE	01/08/2003	Category 3 (Minor)	Category 4 (No Impact)	Tyres: Vehicles and Vehicle Parts
18	240 m	N	16/08/2003	Category 4 (No Impact)	Category 4 (No Impact)	Smoke

This data is sourced from the Environment Agency/Natural Resources Wales.

Contaminated land

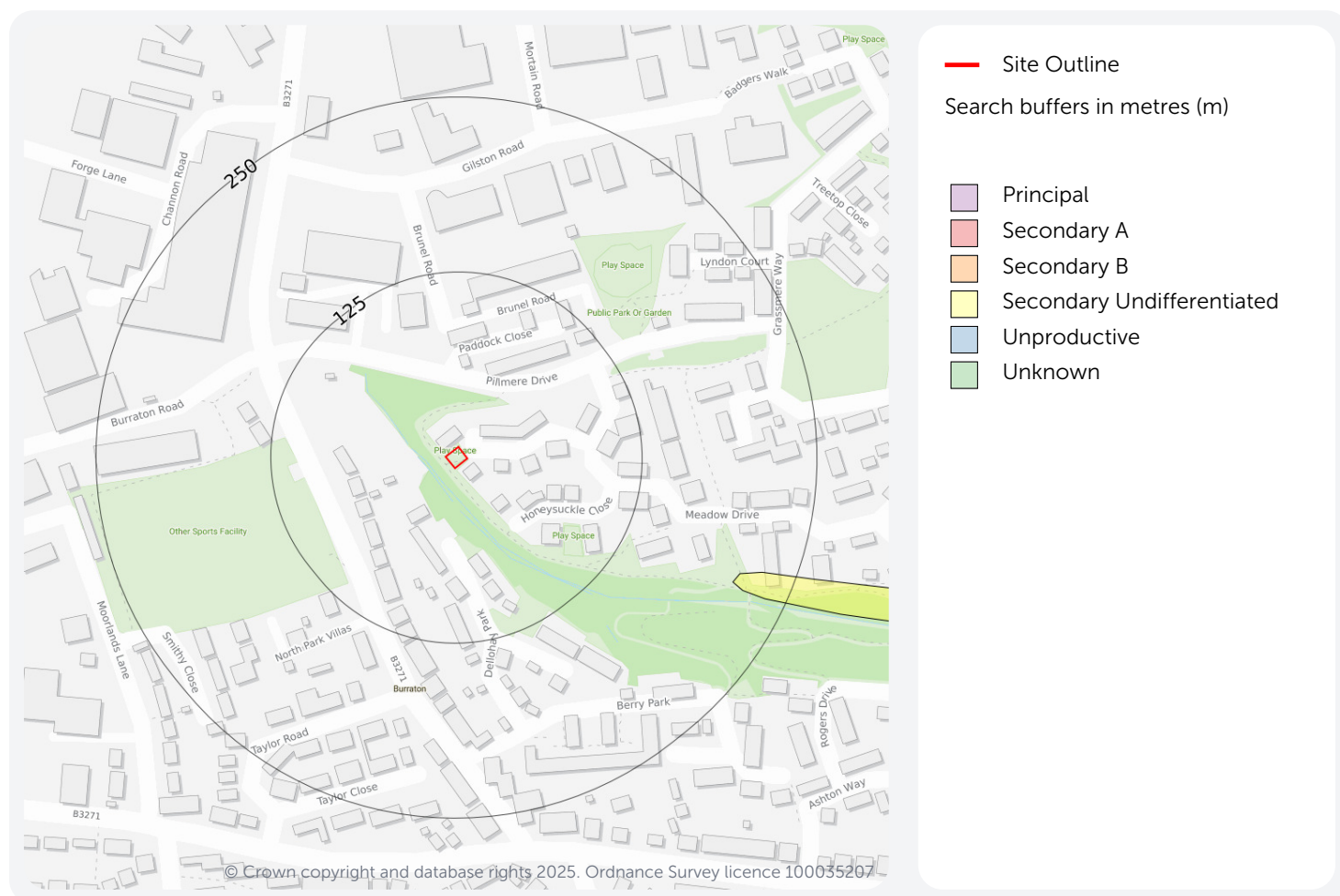
Superficial hydrogeology ?

The data summarised in this section relates to underground water resources (aquifers) within surface drift geology that may be sensitive to any ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



Aquifers within superficial geology

The Environment Agency/Natural Resources Wales and the British Geological Survey have assigned designations or types to the aquifers that exist within superficial geology. These designations reflect the importance of aquifers in terms of groundwater as a resource (eg drinking water supply) but also their role in supporting surface water flows and wetland ecosystems.

Principal - These are layers of rock or superficial deposits that usually provide a high level of water storage.

Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale.

Secondary B - Predominantly lower permeability layers which may store and yield limited amounts of groundwater.

Secondary Undifferentiated - Has been assigned in cases where it has not been possible to attribute either category A or B to a rock type.

Unproductive - These are rock layers with low permeability that have negligible significance for water supply.



Unknown - These are rock layers where it has not been possible to classify the water storage potential.

Distance	Direction	Designation
----------	-----------	-------------

209 m	SE	Secondary Undifferentiated
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This data is sourced from the Environment Agency/Natural Resources Wales and the British Geological Survey.

Contaminated land

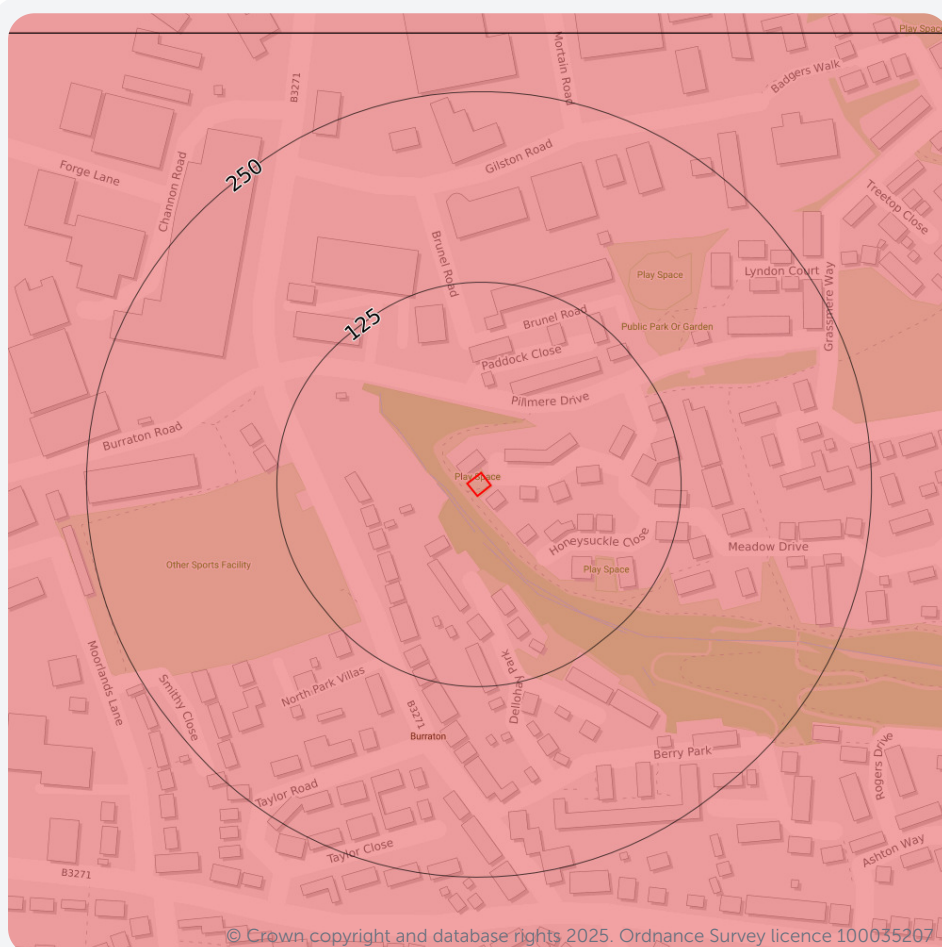
Bedrock hydrogeology ?

The data summarised in this section relates to underground water resources (aquifers) within bedrock geology that may be sensitive to any ground contamination.

Section links

[Back to section summary](#) →

[Consultant's assessment](#) → [Current/recent land use](#) →
[Past land use](#) → [Hydrogeology](#) →
[Waste and landfill](#) → [Hydrology](#) →



— Site Outline

Search buffers in metres (m)

- Principal
- Secondary A
- Secondary B
- Secondary Undifferentiated
- Unproductive
- Groundwater abstraction licence (point)
- Groundwater abstraction licence (area)
- Groundwater abstraction licence (linear)

Aquifers within bedrock geology

The Environment Agency/Natural Resources Wales and the British Geological Survey have assigned designations or types to the aquifers that exist within bedrock geology. These designations reflect the importance of aquifers in terms of groundwater as a resource (eg drinking water supply) but also their role in supporting surface water flows and wetland ecosystems.

Principal - These are layers of rock or superficial deposits that usually provide a high level of water storage.

Secondary A - Permeable layers capable of supporting water supplies at a local rather than strategic scale.

Secondary B - Predominantly lower permeability layers which may store and yield limited amounts of groundwater.

Secondary Undifferentiated - Has been assigned in cases where it has not been possible to attribute either category A or B to a rock type.

Unproductive - These are rock layers with low permeability that have negligible significance for water supply.



Distance	Direction	Designation
0	on site	Secondary A

This data is sourced from the Environment Agency/Natural Resources Wales and the British Geological Survey.

Bedrock geology

Bedrock geology is a term used for the main mass of rocks forming the Earth and is present everywhere, whether exposed at the surface in outcrops or concealed beneath superficial deposits or water. This information comes from the BGS 1:50,000 Digital Geological Map of Great Britain, where available.

Description	BGS LEX Code	Rock Type
SALTASH FORMATION	SAH-SLAS	SLATE AND SILTSTONE

This data is sourced from British Geological Survey.



Contaminated land
Hydrology ?

The data summarised in this section relates to surface water resources such as rivers, lakes and ponds that may be sensitive to any ground contamination.

Section links

Back to section summary →

Consultant's assessment →

Past land use →

Waste and landfill →

Current/recent land use →

Hydrogeology →

Hydrology →



Water courses from Ordnance Survey

These are water features such as ponds, lakes, rivers and streams that have been identified by Ordnance Survey. These features may be sensitive to contamination.

Distance	Direction	Details
12 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)

Screening



Distance	Direction	Details
15 m	SW	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
24 m	S	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
25 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
28 m	W	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
31 m	S	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
126 m	SE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
126 m	SE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
127 m	SE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)
132 m	SE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: Underground Permanence: Watercourse contains water year round (in normal circumstances)
156 m	SE	Name: Type of water feature: Inland river not influenced by normal tidal action. Ground level: On ground surface Permanence: Watercourse contains water year round (in normal circumstances)

This data is sourced from Ordnance Survey.



Flooding

Negligible

No significant concerns have been identified as a result of the flood risk searches. No action required.

River and coastal flooding

Very Low

Past flood events

Not identified

Groundwater flooding

Negligible

Flood storage areas

Not identified

Surface water flooding

Negligible

Floodscore™ insurance rating

Very Low

National Planning Policy Framework (NPPF)

Will any NPPF Flood Risk Assessment be required if the site is redeveloped?

[See overview](#)

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing developments should take advice from the emergency services when producing an evacuation plan for the development as part of the flood risk assessment.

Next steps

Flooding

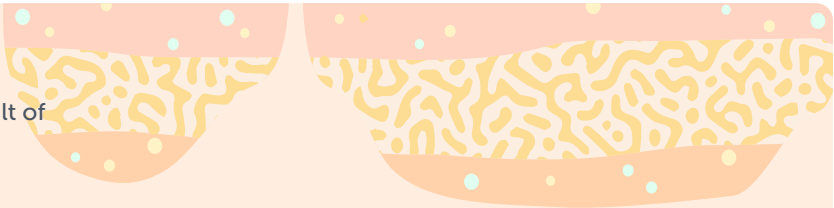
None required.



Ground stability

Not identified

No significant concerns have been identified as a result of the ground stability searches. No action required.



Natural ground stability

Negligible-Very low

Non-natural ground stability

Not identified

Next steps

Ground stability

None required.





ClimateIndex™

Future-focused property ratings summarising flood, subsidence and coastal erosion risks over 5 and 30 year periods, aligned with Bank of England reporting requirements.

Section links

Physical risks	→	Flooding	→
Ground stability	→	Transition risks	→

Physical risks

Negligible



Transition risks

Advice available



Next steps

Let's talk about climate

Groundsure has in-house experts and online resources that can help you:

- Check out our [ClimateIndex™ clauses](#)  here for actionable guidance on risks associated with climate change;
- Reach out to our in-house experts on info@groundsure.com  or 01273 257755.



ClimateIndex™

Physical risks ?

Negligible

Our ClimateIndex™ provides a climate score for your property, and projects changes in physical risks from flooding, natural ground stability and coastal erosion.

Section links

[Back to section summary](#) →

[Physical risks](#) →

[Flooding](#) →

[Ground stability](#) →

[Transition risks](#) →

Climate change could have a significant medium to longer term impact on your property, which may be increasingly considered by your lender if you are arranging a mortgage. Physical risks are those that can cause direct damage or loss to your property but they can also give rise to transition risks such as impacting on the ability to insure or mortgage the property.

The risks with the greatest impact on the overall ClimateIndex™ are positioned first in the list(s) below. Any risks that have not been identified at the site have been omitted.

A

5 years

Negligible

A

30 years

Negligible

Rating key



Negligible risk → High risk

The ClimateIndex™ (A-F) is an overall illustration of the potential impact from the physical risks covered in this assessment - flooding from numerous sources, ground stability and coastal erosion.





ClimateIndex™
Flooding ?

This section summarises the projected change in flood water depths at the site over time as a result of climate change.

Section links

Back to section summary →

Physical risks → Flooding →

Ground stability → Transition risks →

The baseline or current flood risk assessment on this property is based on climatic conditions today. If present, the associated flood maps (and other relevant datasets) are visualised in the flood risk section. However, climate change is expected to increase the frequency and severity of weather events that could increase the risk of flooding. Rising sea levels due to climate change could also contribute to increased flood risk in coastal properties.

Ambiental Risk Analytics provides flood risk data that can project the risk from river, coastal and surface water flooding in the future for a range of emissions scenarios (Low emissions - RCP 2.6, medium emissions - RCP 4.5, and high emission - RCP 8.5).

Groundsure uses this data, as well as other data assets within our ClimateIndex™ calculator to determine an overall assessment of climate change physical risks to the property. For example, the combined effect of ‘moderate’ assessments over multiple physical risks could result in a higher ClimateIndex™ overall than that of a single moderate assessment.

More information about our methodology and limitations is available here: knowledge.groundsure.com/methodologies-and-limitations.

Climate change scenario	River/coastal flood depth (cm)		Surface water flood depth (cm)	
	5 years	30 years	5 years	30 years
Low emissions	< 20	< 20	< 20	< 20
Medium emissions	< 20	< 20	< 20	< 20
High emissions	< 20	< 20	< 20	< 20

This data is sourced from Ambiental Risk Analytics.



ClimateIndex™

Ground stability ?

This section summarises the projected likelihood of increased ground stability risks from shrink swell clays at the site over time as a result of climate change.

Section links

Back to section summary →

Physical risks



Flooding



Ground stability



Transition risks



The British Geological Survey (BGS) has created data designed to show the likelihood of an increase in risk from shrink swell subsidence hazards as a result of climate change. When certain soils take in water they can swell, causing heave. Conversely, when these soils dry out they can shrink and cause subsidence. Climate change is likely to result in higher temperatures and therefore likely to cause periods of drought and an increase in shrink swell subsidence.

This data has been produced using the Met Office local projections to accurately model predicted rainfall, using the high emissions climate change scenario (RCP 8.5).

Groundsure uses this data, as well as other data assets within our ClimateIndex™ calculator to determine an overall assessment of climate change physical risks to the property. For example, the combined effect of 'moderate' assessments over multiple physical risks could result in a higher ClimateIndex™ overall than that of a single moderate assessment.

More information about our methodology and limitations is available here: knowledge.groundsure.com/methodologies-and-limitations.

Rainfall scenario	High rainfall		Average rainfall		Lower rainfall	
	5 years	30 years	5 years	30 years	5 years	30 years
Likelihood of increased risk	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely	Highly unlikely

This data is sourced from the British Geological Survey



ClimateIndex™

Transition risks ?

Transition risks can occur as a result of requirements or obligations to move towards a less polluting, greener economy. This section summarises information relating to any Energy Performance Certificates at the property.

Section links

[Back to section summary](#) →

[Physical risks](#) → [Flooding](#) →
[Ground stability](#) → [Transition risks](#) →

Energy Performance

Energy Performance Certificates (EPCs) rate the energy efficiency of buildings using grades from A+ to G, with 'A+' being the most efficient grade (this represents a 'Net Zero' non-domestic building) and 'G' the least efficient. They are designed to provide an estimate of energy costs associated with a building and an indication of how these can be reduced. When required, they should be made available to any prospective buyer or tenant. They are valid for exactly 10 years after the date lodged by the assessor. If your certificate is out of date it will need to be renewed when you wish to sell a property or let to a new tenant.

i We have not been able to find an EPC relating to the property.

There are a number of potential reasons why a valid EPC has not been found for the property:

- The property is an undeveloped plot and no buildings exist;
- An EPC is not required at the property. Examples may include listed buildings and places of worship but full details can be found [here](#)
- An EPC is not required for the building(s) on the site;
- The EPC for the property is not yet recorded in the published database. There can be a delay of up to 2 months of a new EPC being lodged and appearing within our report. In the meantime, you can visit gov.uk's [Find an energy certificate](#) service to search for the EPC for more detail;
- We have been unable to match the address provided when ordering this report to the address on the EPC.

Consideration should be given to the feasibility and cost of any improvement works that are recommended in the EPC, if any exemptions apply and also to when a new assessment might be required.

EPC calculations are partly based on observations made by the EPC assessor when visiting a property and partly on data and assumptions using the age and type of property. This means the EPC band may change irrespective of any improvement works undertaken, due to, for example, differing access or documentation being provided to the assessor during the visit. Additionally, the methodologies underpinning EPC calculations are updated periodically.

Leasing and energy efficiency regulations

Currently, the Minimum Energy Efficiency Standard (MEES) Regulations require all privately leased non-domestic properties being let in England and Wales to have a minimum EPC rating of E. Fines of between £10K-£150K may be issued per tenancy within a building that does not meet these requirements.

If the property has an EPC rating of F or G, the landlord should either improve the property to at least an EPC rating of E, or register an exemption, should one apply. [Click here](#) for more detail on the types of exemptions available and how to register for them.

Green leases are agreements that put obligations on both the tenant and the landlord to improve the energy efficiency and overall environmental impact of a commercial property. More information relating to green leases can be found [here](#) .

Current government guidelines around future regulations or requirements are unclear. However, given the general aspiration to move towards a net zero economy, tightening of the requirements imposed around energy efficiency should be anticipated and considered in the future.



Radon ?

Identified

The property is in a radon affected area. This could mean that inhabitants are at risk from the harmful effects of radon. The percentage of homes estimated to be affected by radon in your local area is between 5% and 10%.

Section links

Radon →

Next steps

Radon

The property is in an area where elevated radon levels are expected to be found in 5-10% of properties.

- Employers are required by law to assess any risks to their staff while at work. We recommend checking your requirements here <https://www.ukradon.org/information/hands>;
- If the property was constructed after 2008 radon protection measures may have been installed during construction. We recommend checking with the Building Control department at the local authority to determine this;
- Enquire with the seller if they have completed a 3 month radon test and what the results were. If they have not had one completed, carry out a radon test at the property. The most accurate testing kits run for 3 months and can be obtained from UK Radon <https://www.ukradon.org/services/orderworkplace>;
- Further information is available here <https://knowledge.groundsure.com/searches-radon>.

Radon ?

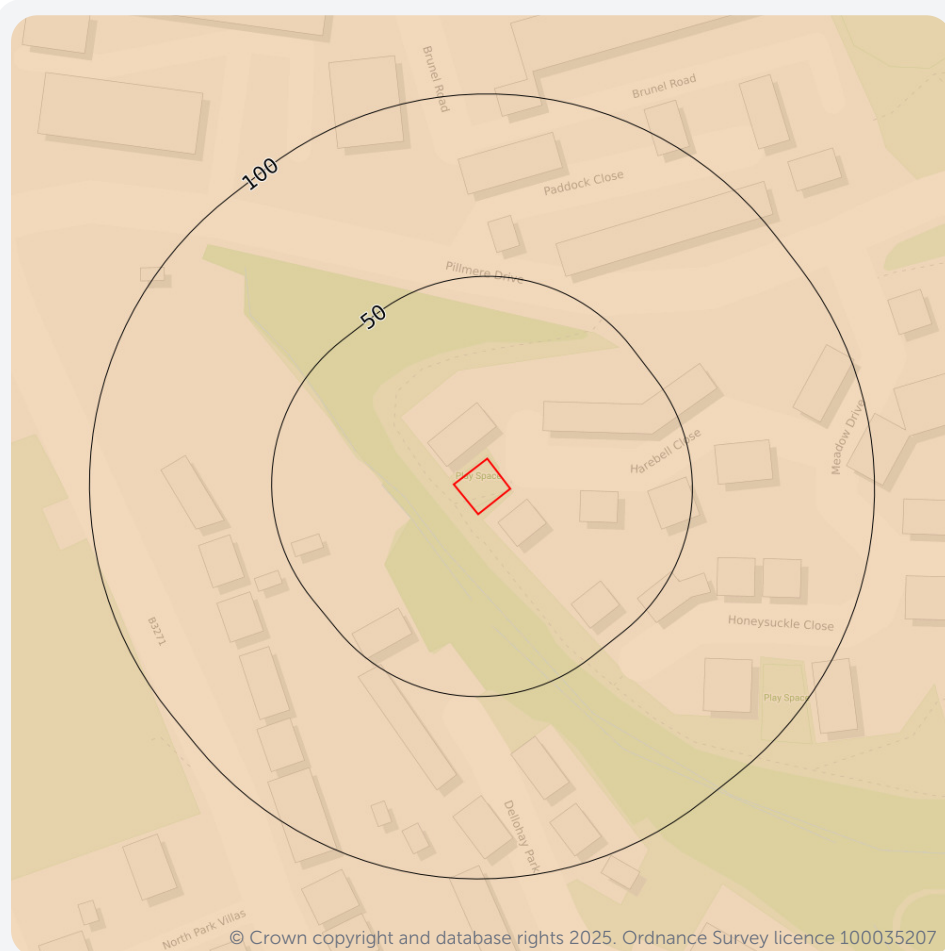
Identified

The property lies within a radon affected area.

Section links

Back to section summary →

Radon →



— Site Outline

Search buffers in metres (m)

- Greater than 30%
- Between 10% and 30%
- Between 5% and 10%
- Between 3% and 5%
- Between 1% and 3%
- Less than 1%

The property is in a radon affected area, meaning there is an increased risk that properties will contain elevated levels of radon.

In order to determine if there is a problem at your property, a radon measurement in the building must be taken. Access to a testing service and further information on radon is available from UK Health Security Agency (UKHSA) or www.ukradon.org.

Radon is a colourless, odourless radioactive gas present in all areas of the United Kingdom, usually at levels that pose a negligible risk. However, the property is situated in an area where levels of radon can be much higher and pose a health risk. High levels of radon can cause lung cancer, particularly for smokers and ex-smokers. The higher the level and the longer the period of exposure, the greater the risk.

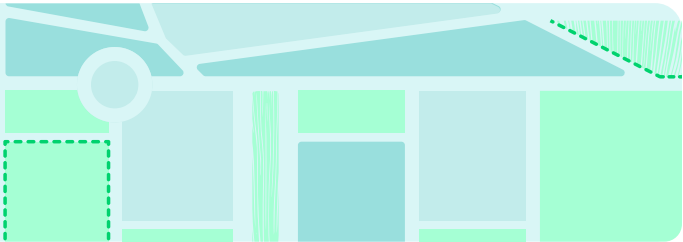
This data is sourced from the British Geological Survey/UK Health Security Agency.



Planning constraints

Not identified

No protected areas have been identified within 250 metres of the property. Protected areas include nature reserves and other conservation areas.



Next steps

Planning constraints

None required.



Energy ?

Identified

The property has been identified to lie within the search radius of one or more energy features detailed below.

Section links

Wind and solar → Energy →

Oil and gas

No historical, active or planned wells or extraction areas have been identified near the property.

Oil and gas areas

Not identified

Oil and gas wells

Not identified

Wind and solar

Our search of existing and planned renewable wind and solar infrastructure has identified results.

Planned multiple wind turbines

Identified



Planned single wind turbines

Identified



Existing wind turbines

Identified



Proposed solar farms

Identified



Existing solar farms

Identified



Energy Infrastructure

Our search of major energy transmission or generation infrastructure and nationally significant infrastructure projects has identified results.

Power stations

Identified



Energy infrastructure

Not identified

Projects

Not identified

Next steps

Wind

Existing or proposed wind installations have been identified within 10km.

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property



Next steps continued


Solar

Existing or proposed solar installations have been identified within 5km of the property.

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

Power stations

One or more Power Stations have been identified within 5km of the property.

- visit the power station operator's website for further information. Many power stations have large amounts of information on their local impacts available on the operator's website
- additionally, you could contact the Air Quality team of the Local Authority which may hold additional information regarding any air quality impacts in the area
- if a nuclear installation has been identified, consider visiting www.onr.org.uk/regulated-sites.htm  for further information on the site

Energy

Wind and solar ?

Identified

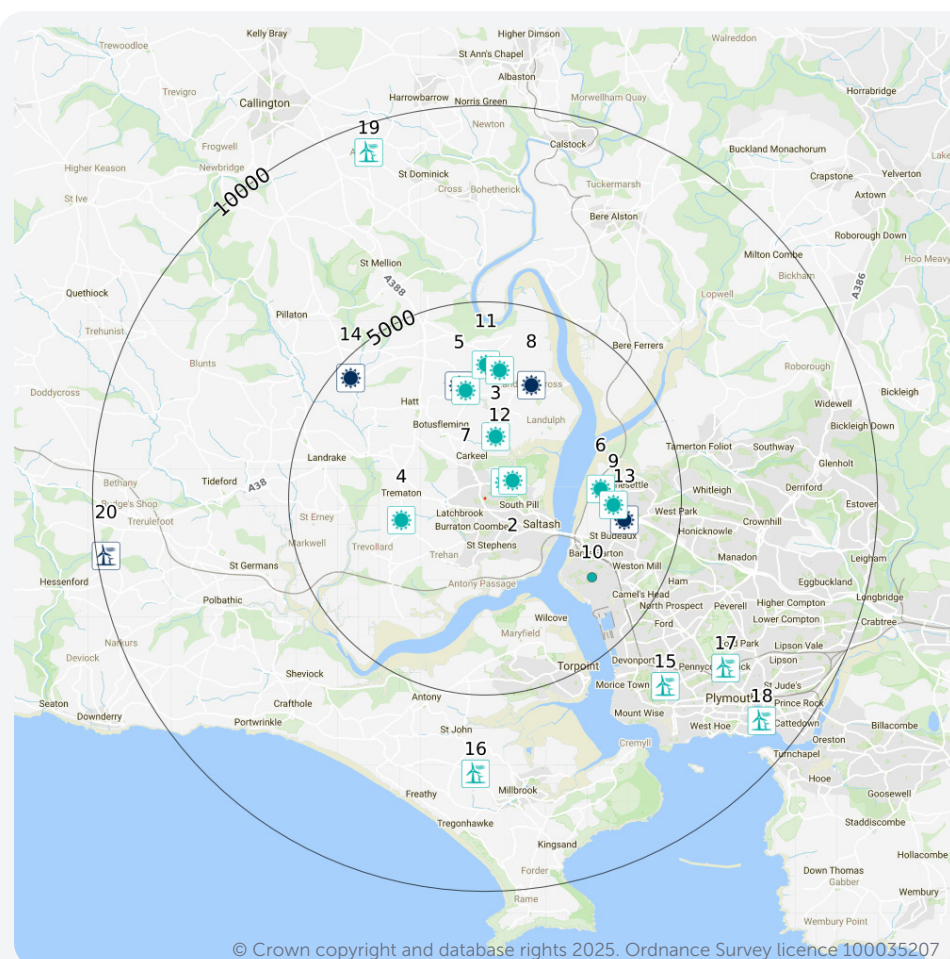
The data summarised in this section relates to the location of current and planned wind farms/turbines and solar farms.

Section links

[Back to section summary](#) →

[Wind and solar](#) →

[Energy](#) →



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Wind farms

An active wind farm, group of turbines or individual wind turbine has been identified within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.



ID	Distance	Direction	Details
20	9-10 km	W	<p>Site Name: Bake Sawmills, Bake Lane, Trerulefoot, South West, PL12 5BW</p> <p>Operator Developer: Murex Energy Ltd</p> <p>Status of Project: Operational</p> <p>Type of project: Onshore</p> <p>Number of Turbines: 1</p> <p>Turbine Capacity: 0.5MW</p> <p>Total project capacity: 0.5</p> <p>Approximate Grid Reference: 231827, 58240</p>

This data is sourced from the UK Wind Energy Database supplied by Renewable UK. Groundsure recommends further independent research with Renewable UK of any sites of interest to determine exact locations and details of the projects.

Proposed wind farms

A wind farm or group of turbines or individual wind turbine has been proposed within 10,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused, may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.

ID	Distance	Direction	Details
15	6-7 km	SE	<p>Site Name: Kings Road, Devonport, Plymouth, Plymouth, Devon, PL1 5QG</p> <p>Planning Application Reference: N/A</p> <p>Type of Project: Wind Turbines</p> <p>Application Date: 2003-01-15</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises the installation and construction of two wind turbines. The turbines are to be mounted on the science and technology block.</p> <p>Approximate Grid Reference: 246084, 54920</p>
16	7-8 km	S	<p>Site Name: Land At Mendennick St John Road, Millbrook, Torpoint, Cornwall, PL10</p> <p>Planning Application Reference: PA12/12027</p> <p>Type of Project: 3 Wind Turbines</p> <p>Application Date: 2012-12-21</p> <p>Planning Stage: Early Planning Detail Plans Withdrawn</p> <p>Project Details: Scheme comprises construction up to 25 year operation and subsequent decommissioning of up to 3 wind turbines, each with a maximum overall tip height of up to 81m above ground level, together with access tracks, temporary works, hardstanding areas, elect</p> <p>Approximate Grid Reference: 241247, 52692</p>
17	7-8 km	SE	<p>Site Name: 28 - 29 Central Park Avenue, Milehouse, Plymouth, Plymouth, Devon, PL4 6NE</p> <p>Planning Application Reference: 06/00547/FUL</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2006-03-04</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises installation of two wind turbines on roof of central park towers.</p> <p>Approximate Grid Reference: 247622, 55384</p>



ID	Distance	Direction	Details
18	9-10 km	SE	<p>Site Name: National Marine Aquarium, Rope Walk, The Barbican, Plymouth, Plymouth, Devon, PL4 0LF</p> <p>Planning Application Reference: 05/01630/FUL</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2005-09-12</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises proposed installation of external exhibits and 2 wind turbines.</p> <p>Approximate Grid Reference: 248542, 54040</p>
19	9-10 km	N	<p>Site Name: West Coombe Park, Ashton, Callington, Cornwall, Cornwall, PL17 8AG</p> <p>Planning Application Reference: PA13/03979</p> <p>Type of Project: 2 Wind Turbines</p> <p>Application Date: 2013-05-07</p> <p>Planning Stage: Early Planning Detail Plans Refused</p> <p>Project Details: Scheme comprises installation of 2 micro scale turbine (14.97m to hub, 5.6m diameter blades).</p> <p>Approximate Grid Reference: 238524, 68512</p>

This information is derived from planning data supplied by Serac Tech and Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for wind farms with multiple turbines within 10,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.

Proposed wind turbines

Planning applications for individual wind turbines have been proposed within 5,000m of the property. See below for details of the operating company, number of turbines, project and turbine capacity.

Please note some planning applications identified as having been refused may have subsequently been granted on appeal without appearing as such within this report. Additionally, please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken.

ID	Distance	Direction	Details
10	3-4 km	SE	<p>Site Name: Tamar View Cop-Op Store, 171 Poole Park Road, Plymouth, Plymouth, Devon, PL5 1DD</p> <p>Planning Application Reference: 07/00038/FUL</p> <p>Type of Project: Wind Turbine</p> <p>Application Date: 2007-01-08</p> <p>Planning Stage: Plans Approved Detail Plans Granted</p> <p>Project Details: Scheme comprises installation of wind-powered generator (wind turbine to be sited on north elevation of building).</p> <p>Approximate Grid Reference: 244221, 57702</p>

This information is derived from planning data supplied by Serac Tech and Glenigan, in some cases with further accuracy applied by Groundsure's experts. This search includes planning applications for single wind turbines only, within 5,000m of the property. This data is updated on a quarterly basis.

If the existence of a planning application, passed or refused, may have a material impact with regard to the decision to purchase the property, Groundsure recommends independent, thorough enquiries are made with the Local Authority. If any applications have been identified within this report, Groundsure have included the planning reference to enable further enquiries to be made.



Existing and agreed solar installations

There is an operational or planned solar photovoltaic farm or smaller installation located near the property.

Please note this will not include small domestic solar installations. See below for details on installed capacity, operating company and the status of the project on a given date.

ID	Distance	Direction	Address	Details	
5	2-3 km	N	West Kingsmill Farm Solar Park, West Kingsmill Farm Kingsmill Park Road From Leigh Lane To Kingsmill Lake And Farm Hatt Saltash Cornwall, PL12 6NB	Contractor: Inazin (previously Low carbon Solar Partners) LPA Name: Cornwall Capacity (MW): 1.6	Application Date: 17/02/2011 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 31/03/2014
8	3-4 km	N	North Wayton Farm, Landulph Saltash Cornwall, PL12 6QQ	Contractor: KS SPV21 Ltd LPA Name: Cornwall Capacity (MW): 5	Application Date: 09/10/2012 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 31/03/2014
13	3-4 km	E	Ernesettle Solar Farm, Site to the west of, Ernesettle Crescent, Plymouth, Devon, PL5 2ET	Contractor: PEC Renewables LPA Name: Plymouth Capacity (MW): 4.1	Application Date: 22/07/2015 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 23/03/2016
14	4-5 km	NW	Howton Farm, Howton Farm Pillaton Saltash Cornwall, PL12 6QY	Contractor: Low carbon Solar Partners LPA Name: Cornwall Capacity (MW): 4.4	Application Date: 14/01/2011 Pre Consent Status: Operational Post Consent Status: Operational Date Commenced: 22/07/2011

The solar installation data is supplied by the Department for Business, Energy & Industrial Strategy and is updated on a monthly basis.

Proposed solar installations

There is a planning permission application relating to a solar farm or smaller installation near to the property.

Please note this will not include small domestic solar installations and that one site may have multiple applications for different aspects of their design and operation. Also note that the presence of an application for planning permission is not an indication of permission having been granted. Please be aware that as the identified records are taken from a planning record archive, the proposals identified may have already been undertaken. See below for details of the proposals.



ID	Distance	Direction	Address	Details	
1	644 m	NE	China Fleet Country Club Ltd, Pill Lane, North Pill, Saltash, Cornwall, PL12 6LJ	Applicant name: Dean Bennett Application Status: Pre-Application Publicly Available Application Date: 30/05/2024 Application Number: PA24/00625/PREAPP	Pre application advice for construction and installation of Ground Mounted Solar Array with associated fencing, inverters, transformers, substation and cabling
2	644 m	NE	Land South West Of China Fleet Country Golf, Pill Lane, North Pill, Saltash, Cornwall, PL12 6LQ	Applicant name: Mr Gordon Hannah, China Fleet Trust Application Status: Full application Application Date: 08/10/2024 Application Number: PA24/07255	The erection of a fixed ground mounted Solar Photovoltaic array with an expected capacity of 600kWp of generating capacity, a transformer substation, inverters, cable run, fencing, biodiversity measures and ancillary works.
3	1-2 km	N	Pineapple Farm, Moditonham, Botus Fleming, Saltash, Cornwall, PL12 6NN	Applicant name: Michael Tapley Application Status: Awaiting decision Application Date: 10/01/2022 Application Number: PA21/12138	34Kw ground mounted pv solar array for domestic use
4	2-3 km	W	Alma Cottage, Crumble Tor Lane, Trematon, Cornwall	Applicant name: Mrs L Lidstone Application Status: Full application Application Date: 22/01/2013 Application Number: PA13/00591	Installation of 50kw photovoltaic panels on a ground mount system.
6	2-3 km	E	Site adjacent to Enesettle Lane, Plymouth, PL5 2SA	Applicant name: PEC Renewables Ltd Application Status: - Application Date: 18/06/2015 Application Number: 15/01135/ESR10	Request for screening opinion for a solar photovoltaic farm capable of generating up to approximately 4MWP
7	3-4 km	N	West Kingsmill Road, Landulph, Saltash, Cornwall, PL12 6NB	Applicant name: West Kingsmill Solar Limited Application Status: Application under Section 73 of TCP Act Application Date: 29/04/2022 Application Number: PA22/03775	Proposed 1.6 MW solar PV development with variation of condition 17 of decision PA11/01235 dated 18.04.2011

Screening



ID	Distance	Direction	Address	Details
9	3-4 km	E	Grazing Land, Ernesettle Lane, Plymouth, PL5 2DE	<p>Applicant name: Plymouth Energy Company</p> <p>Application Status: Minor Pre Application Enquiry</p> <p>Application Date: 05/03/2024</p> <p>Application Number: 24/00249/MOR</p> <p>Pre-application to develop a solar farm on an area of land approximately 7.5 acres in size</p>
11	3-4 km	N	North Wayton Farm, Landulph, Saltash, Cornwall, PL12 6QQ	<p>Applicant name: Kunowsky Energy Ltd</p> <p>Application Status: Application under Section 73 of TCP Act</p> <p>Application Date: 19/10/2015</p> <p>Application Number: PA15/09723</p> <p>Variation of condition 11 attached to planning decision PA12/09275 (Provision of photovoltaic solar park and ancillary infrastructure within a site area of 16.79ha) in order to allow for a 5 year extension to the lifetime of the solar farm</p>
12	3-4 km	N	North Wayton Farm, Landulph, Saltash, Cornwall, PL12 6QQ	<p>Applicant name: Kunowsky Energy Ltd</p> <p>Application Status: First amendment to planning permission</p> <p>Application Date: 13/07/2016</p> <p>Application Number: PA16/06582</p> <p>Non-material amendment for retention of a waterless, composting toilet and minor amendment to swale design adjacent to the DNO substation to (PA15/09723) variation of condition 11 attached to planning decision PA12/09275 (Provision of photovoltaic solar park and ancillary infrastructure within a site area of 16.79ha) in order to allow for a 5 year extension to the lifetime of the solar farm.</p>

This data is sourced from Serac Tech and Glenigan.

Energy

Energy infrastructure ?

Identified

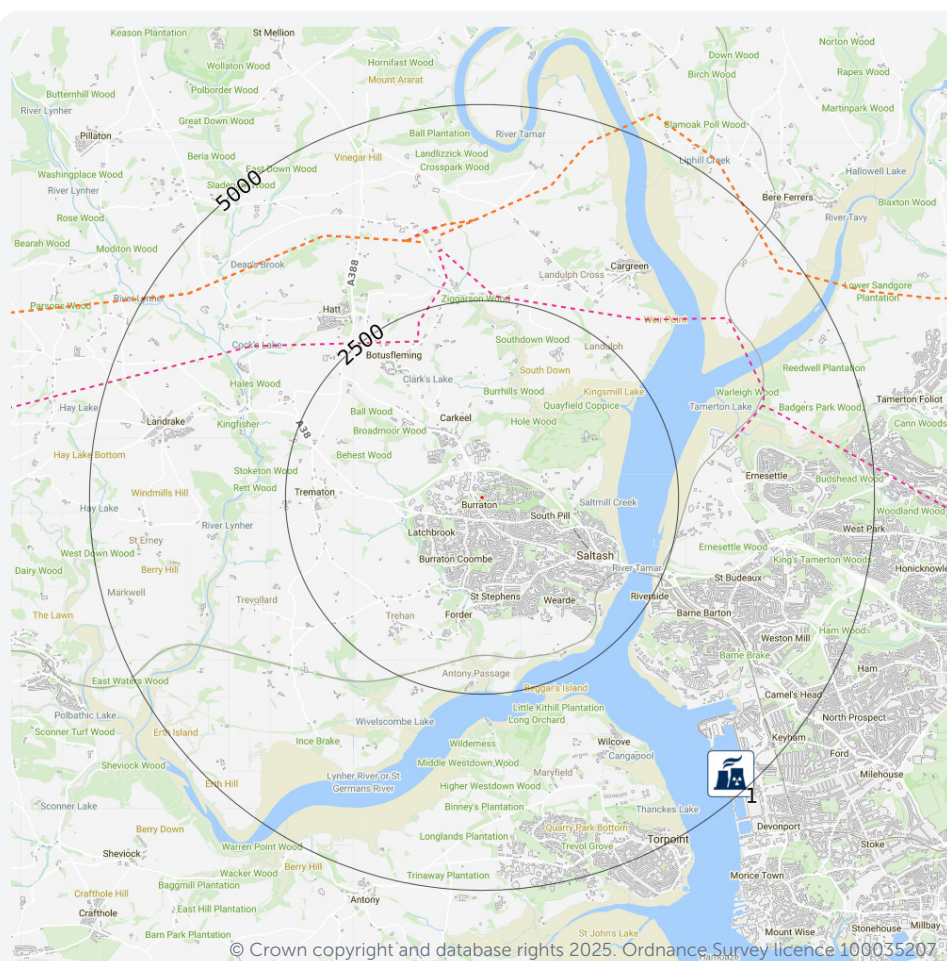
The data summarised in this section relates to the location of large energy infrastructure such as power stations, transmission lines or proposed large energy developments.

Section links

[Back to section summary](#) →

[Wind and solar](#) →

[Energy](#) →



Site Outline

Search buffers in metres (m)

- Power stations
- Nuclear sites
- Gas sites
- Electricity substations
- Energy development projects
- Gas pipelines
- Electricity Lines
- Electricity Cable
- Electricity transmission lines and pylons

Nuclear installations

There is, or is planned to be, a nuclear installation within 4736m of the property. It may be existing, decommissioned or planned. Existing nuclear power stations may be in 'Operational', 'Defueling' or 'Decommissioning' states.

ID	Distance	Direction	Operator	Parent Company	Site Name	Location	Type of Site
1	4-5 km	SE	Devonport Royal Dockyard Limited (DRDL)	Babcock International Group	Devonport Royal Dockyard- Plymouth	Plymouth	Defence

Screening



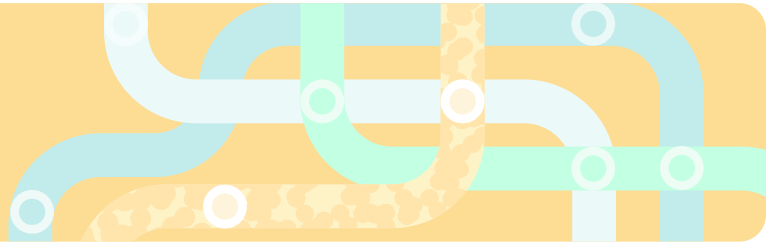
This information is gathered from a combination of sources. Sources include the Health and Safety Executive, the Nuclear Decommissioning Authority, the National Infrastructure Planning Programme and the Nuclear Advanced Manufacturing Centre. If the existence of a nuclear installation may have a material impact with regard to the decision to purchase the property, Groundsure recommends making independent, thorough enquiries with the Office for Nuclear Regulation. Further information can be found at <https://www.onr.org.uk/register-of-nuclear-site-licences>.



Transportation ?

Not identified

The property has not been identified to lie within the specified distance of one or more of the transportation features detailed below.



HS2

No results for Phase 1 or Phase 2 of the HS2 project (including the 2016 amendments) have been identified within 5km of the property. However, HS2 routes are still under consultation and exact alignments may change in the future.

Visual assessments are only provided by Groundsure if the property is within 2km of Phase 1 and 2a. Other assessments may be available from HS2.

HS2 route

Not identified

HS2 safeguarding

Not identified

HS2 stations

Not identified

HS2 depots

Not identified

HS2 noise

Not assessed

HS2 visual impact

Not assessed

Crossrail

The property is not within 250 metres of the Crossrail 2 project.

Crossrail 2 route

Not identified

Crossrail 2 stations

Not identified

Crossrail 2 worksites

Not identified

Crossrail 2 safeguarding

Not identified

Crossrail 2 headhouse

Not identified

Other railways

The property is not within 250 metres of any active or former railways, subway lines, DLR lines, subway stations or railway stations.

Active railways and tunnels

Not identified

Historical railways and tunnels

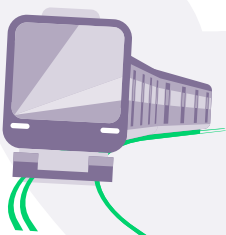
Not identified

Railway and tube stations

Not identified

Underground

Not identified



Next steps

None required.



Datasets searched

This is a full list of the data searched in this report. If we have found results of note we will state "Identified". If no results of note are found, we will state "Not identified". Our intelligent filtering will hide "Not identified" sections to speed up your workflow.

Contaminated Land	
Former industrial land use (1:10,560 and 1:10,000 scale)	Identified
Former tanks	Identified
Former energy features	Identified
Former petrol stations	Not identified
Former garages	Identified
Former military land	Not identified
Former landfill (from Local Authority and historical mapping records)	Not identified
Waste site no longer in use	Not identified
Active or recent landfill	Not identified
Former landfill (from Environment Agency Records)	Not identified
Active or recent licensed waste sites	Identified
Recent industrial land uses	Identified
National Geographic Database (NGD) - Current or recent tanks	Not identified
Current or recent petrol stations	Identified
Dangerous or explosive sites	Not identified
Hazardous substance storage/usage	Not identified
Sites designated as Contaminated Land	Not identified
Historical licensed industrial activities	Not identified
Current or recent licensed industrial activities	Not identified
Local Authority licensed pollutant release	Identified
Pollutant release to surface waters	Not identified
Pollutant release to public sewer	Not identified
Dangerous industrial substances (D.S.I. List 1)	Not identified
Contaminated Land	
Dangerous industrial substances (D.S.I. List 2)	Not identified
Pollution incidents	Identified
Superficial hydrogeology	
Aquifers within superficial geology	Identified
Superficial geology	Not identified
Bedrock hydrogeology	
Aquifers within bedrock geology	Identified
Groundwater abstraction licences	Not identified
Bedrock geology	Identified
Source Protection Zones and drinking water abstractions	
Source Protection Zones	Not identified
Source Protection Zones in confined aquifer	Not identified
Drinking water abstraction licences	Not identified
Hydrology	
Water courses from Ordnance Survey	Identified
Surface water abstractions	Not identified
Flooding	
Risk of flooding from rivers and the sea	Not identified
Flood storage areas: part of floodplain	Not identified
Historical flood areas	Not identified
Reduction in Risk of Flooding from Rivers and Sea due to Defences	Not identified
Flood defences	Not identified



Flooding		Planning constraints	
Surface water flood risk	Not identified	Special Areas of Conservation	Not identified
Groundwater flooding	Not identified	Special Protection Areas (for birds)	Not identified
Ambiental FloodScore™ insurance rating	Not identified	National Nature Reserves	Not identified
Flood map for planning	Not identified	Local Nature Reserves	Not identified
		Designated Ancient Woodland	Not identified
Natural ground subsidence		Green Belt	Not identified
Natural ground subsidence	Not identified	World Heritage Sites	Not identified
Natural geological cavities	Not identified	Areas of Outstanding Natural Beauty	Not identified
		National Parks	Not identified
Non-natural ground subsidence		Conservation Areas	Not identified
Coal mining	Not identified	Listed Buildings	Not identified
Non-coal mining areas	Not identified	Certificates of Immunity from Listing	Not identified
Non-coal mining	Not identified	Scheduled Monuments	Not identified
Mining cavities	Not identified	Registered Parks and Gardens	Not identified
Infilled land	Not identified		
Cheshire Brine	Not identified		
Climate change		Oil and gas	
Flood risk (5 and 30 Years)	Identified	Oil or gas drilling well	Not identified
Ground stability (5 and 30 Years)	Identified	Proposed oil or gas drilling well	Not identified
Complex cliffs	Not identified	Licensed blocks	Not identified
Projections with active management or intervention measures in place	Not identified	Potential future exploration areas	Not identified
Projections with no active management plan or intervention	Not identified		
Radon		Wind and solar	
Radon	Identified	Wind farms	Identified
		Proposed wind farms	Identified
		Proposed wind turbines	Identified
		Existing and agreed solar installations	Identified
		Proposed solar installations	Identified
Planning constraints		Energy	
Sites of Special Scientific Interest	Not identified	Electricity transmission lines and pylons	Not identified
Internationally important wetland sites (Ramsar Sites)	Not identified	National Grid energy infrastructure	Not identified

Screening



Energy	
Power stations	Not identified
Nuclear installations	Identified
Large Energy Projects	Not identified



Appendix



Contaminated land

Page 3 →

Acceptable risk

Next steps

Groundsure considers there to be an acceptable level of risk at the site from contaminated land liabilities.

If you require further advice, please contact our customer services team on 01273 257 755 or e-mail at info@groundsure.com.



Flooding

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Negligible

National Planning Policy Framework (NPPF)

A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3. In Flood Zone 1, an assessment should accompany all proposals involving: sites of 1 hectare or more; land which has been identified by the Environment Agency as having critical drainage problems; land identified in a strategic flood risk assessment as being at increased flood risk in future; or land that may be subject to other sources of flooding, where its development would introduce a more vulnerable use. The NPPF states that the flood risk assessment should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime, taking climate change into account. Those proposing developments should take advice from the emergency services when producing an evacuation plan for the development as part of the flood risk assessment.



ClimateIndex™

Page 22 →

Negligible

Next steps

Let's talk about climate

Groundsure has in-house experts and online resources that can help you:

- Check out our [ClimateIndex™ clauses](#) [↗](#) here for actionable guidance on risks associated with climate change;
- Reach out to our in-house experts on info@groundsure.com [↗](#) or 01273 257755.



Radon

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Identified

Next steps



Next steps continued

Radon

The property is in an area where elevated radon levels are expected to be found in 5-10% of properties.

- Employers are required by law to assess any risks to their staff while at work. We recommend checking your requirements here <https://www.ukradon.org/information/hands>
- If the property was constructed after 2008 radon protection measures may have been installed during construction. We recommend checking with the Building Control department at the local authority to determine this;
- Enquire with the seller if they have completed a 3 month radon test and what the results were. If they have not had one completed, carry out a radon test at the property. The most accurate testing kits run for 3 months and can be obtained from UK Radon <https://www.ukradon.org/services/orderworkplace>
- Further information is available here <https://knowledge.groundsure.com/searches-radon>



Energy

Page 30 →

Identified

Next steps

Wind

Existing or proposed wind installations have been identified within 10km.

- use the details given in the report to find out more about the potential impacts on the property
- contact the operating company and the relevant Local Authority for further information
- visit the area in order to more accurately assess the impact this wind development would have on the property

Solar

Existing or proposed solar installations have been identified within 5km of the property.

- use the details given in the report to find out more about the potential impacts on the property by contacting the operating company and/or Local Authority
- visit the area in order to more accurately assess the impact this solar farm would have on the property

Power stations

One or more Power Stations have been identified within 5km of the property.

- visit the power station operator's website for further information. Many power stations have large amounts of information on their local impacts available on the operator's website
- additionally, you could contact the Air Quality team of the Local Authority which may hold additional information regarding any air quality impacts in the area
- if a nuclear installation has been identified, consider visiting www.onr.org.uk/regulated-sites.htm for further information on the site





Methodologies and limitations

Groundsure's methodologies and limitations are available here: knowledge.groundsure.com/methodologies-and-limitations

Data providers

Groundsure works with respected data providers to bring you the most relevant and accurate information in your Screening report. To find out who they are and their areas of expertise see www.groundsure.com/sources-reference .

Conveyancing Information Executive and our terms & conditions

IMPORTANT CONSUMER PROTECTION INFORMATION

This search has been produced by Groundsure Ltd. Groundsure adheres to the Conveyancing Information Executive Standards.

In addition to The Property Ombudsman (TPO) redress scheme covering consumers, TPO will also provide redress to small businesses (including Charities and Trusts) and where the customer meets the following criteria:

- a small business (or group of companies) with an annual turnover of less than £3 million;
- a charity with an annual income of less than £3 million;
- a Trust with a net asset value of less than £3 million.

Complaints Advice

If you have a query or complaint about your search, you should raise it directly with the search firm, and if appropriate ask for any complaint to be considered under their formal internal complaints procedure.

If you remain dissatisfied with the firm's final response, after your complaint has been formally considered, or if the firm has exceeded the response timescales, you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). The Ombudsman can award up to £5,000 to you if the Ombudsman finds that you have suffered actual financial loss and/or aggravation, distress or inconvenience as a result of your search provider failing to keep to the Standards.

Please note that all queries or complaints regarding your search should be directed to your search provider in the first instance, not to TPOs.

COMPLAINTS PROCEDURE: If you want to make a complaint, we will:

- acknowledge it within 5 working days of receipt
- normally deal with it fully and provide a final response, in writing, within 20 working days of receipt
- liaise, at your request, with anyone acting formally on your behalf

Complaints should be sent to:

Operations Director, Groundsure Ltd, Nile House, Nile Street, Brighton, BN1 1HW. Tel: 01273 257 755.

Email: info@groundsure.com

If you are not satisfied with our final response, or if we exceed the response timescales, you may refer the complaint to The Property Ombudsman scheme (TPOs): Tel: 01722 333306, E-mail: admin@tpos.co.uk

We will co-operate fully with the Ombudsman during an investigation and comply with their final decision.

Groundsure's Terms & Conditions can be viewed here: www.groundsure.com/terms-and-conditions-april-2023/

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Information Classification: CONTROLLED

17/09/2025

My ref: SJ/gc/SX 4159

Dear Sirs,

LAND ADJACENT TO 9 HAREBELL CLOSE, PILLMERE, SALTASH, PL12 6XL

Further to your email, I attach a 1:1,250 @ A4 scale plan showing coloured the extent of the publicly maintainable highway, except for any areas coloured grey or orange, together with a key to the colouring.

I trust the above and attachment will help clarify matters for all concerned. This information is provided subject to any evidence to the contrary, which may become available and be brought to the attention of the Council in the future.

If any further extent is required, an additional request will need to be submitted via our offices, specifying the missing areas of interest, for referral to Cormac to make an official determination. Cormac will then charge their fee for this service as appropriate.

Kind regards

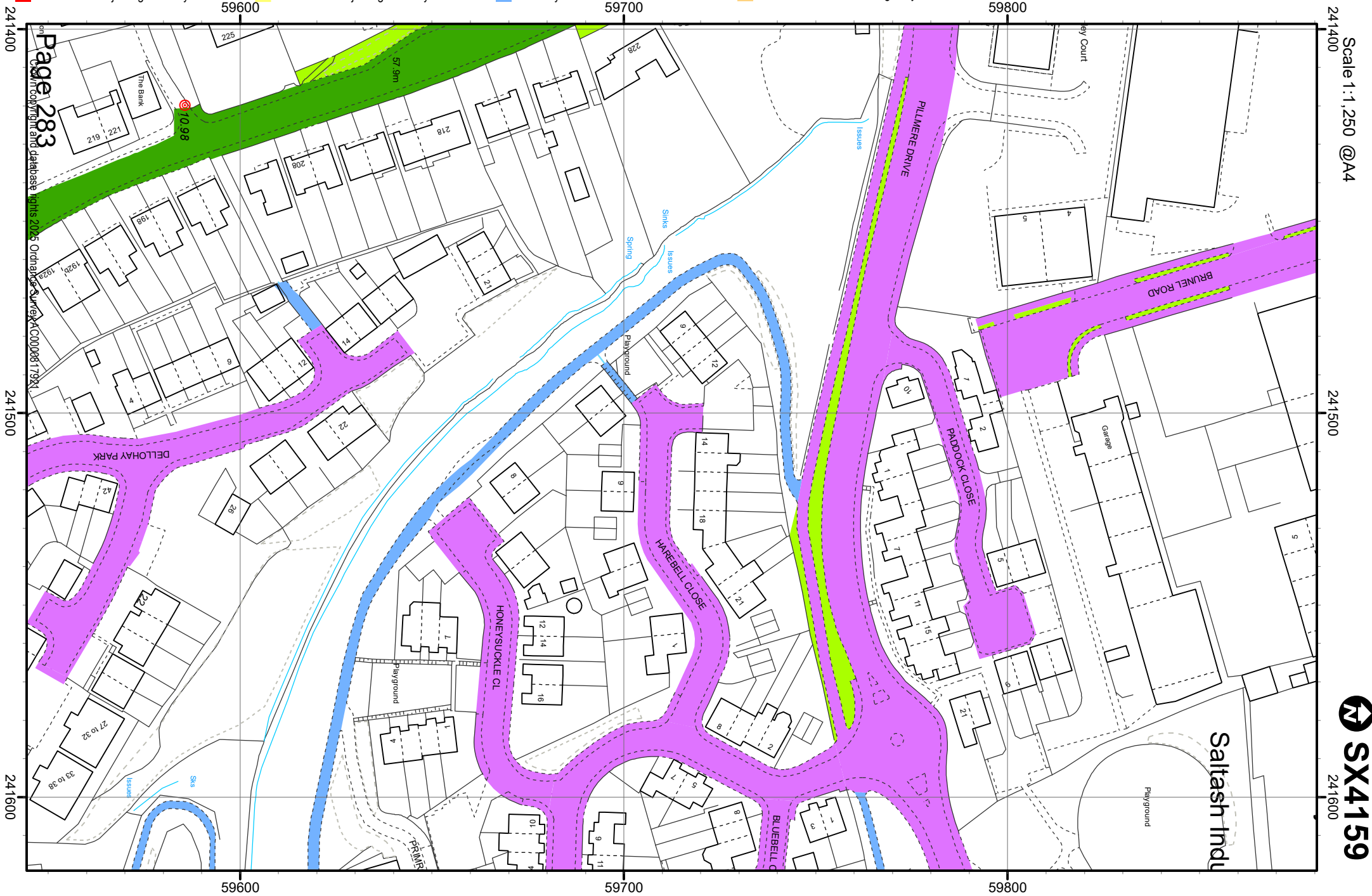
Simon

Simon Jones | Technical Officer | Cornwall Council simon.jones@cornwall.gov.uk |
Tel: 01872 323888 | Tel Internal Only: 493888 www.cornwall.gov.uk | 'Onen hag oll'

Room 2B, Pydar House, Pydar Street, Truro, TR1 1XU.

Key

- Trunk Roads (A30/A38)
 ■ 'B' Roads & Adjoining Footways
 ■ Unclassified Roads & Adjoining Footways
 ■ Publicly Maintained Verges
 ■ Unknown
- 'A' Roads & Adjoining Footways
 ■ 'C' Roads & Adjoining Footways
 ■ Footways
 ■ Non Maintained Public Highway
 ● Memo's





Wheal Jane Consultancy
Old Mine Offices
Wheal Jane
Baldhu, Truro
Cornwall, TR3 6EE



Archival (Desktop) Mining Search

Mining Risk: Low

Address: Land adjacent to
9 Harebell Close
Pillmere
Saltash
Cornwall
PL12 6XL

Client: X-Press Legal Services
The Hill House
St Martins Road
Looe
Cornwall
PL13 1LP

Your Ref.:

Our Ref.: MS47630

Date: 18 September 2025

01872 560 200
consultancy@wheal-jane.co.uk



Low Risk

Dear Sirs,

Re: Land adjacent to 9 Harebell Close, Pillmere, Saltash, Cornwall, PL12 6XL

We thank you for your recent request.

As instructed, we have carried out a mining search in respect of the above property, as delineated on the plan supplied for the purpose of requesting this search (a copy of which is included with this report).

The purpose of this mine search is to examine and interpret the plans and records in our possession relating to metalliferous mining activity and based upon this information, give a professional opinion in respect of potential risk to the property from such historical mining activity.

Where other workings relating to clay, stone or other minerals are noted to be in close proximity to the property mention will be made of them.

This report is presented in a format that is suitable to be used for the purposes of conveyancing, development or refinancing of the property in question.

Depending on the findings of the research, it will make recommendations as may be deemed required and appropriate.

Mining Activity

The property is located outside of the major mineralised areas of Cornwall.

The plans and records that are currently held in our possession at the time of compiling this report, relating to this district, do not indicate the presence of any old shallow/surface mine workings or shafts within the boundaries of the property.

The nearest recorded mining related feature comprises the portal of an adit (drainage tunnel) located over 1 km to the east-south-east of the property.

This adit, which extends in a southerly direction, was associated with a trial for copper and lead ores, under the name Wheal Tamar Mine.

The old Wheal Harrison Mine lies over 2 km to the south-south-east of the property.

We have found no evidence of clay workings or other mineral workings in the immediate vicinity of the property.

Based upon the historic mapping sources we have reviewed we have found no evidence of any water supply wells within the boundaries of the property.

Conclusions

We know of no plans to exploit metallic minerals in the locality, nor do we consider this a likely event.

Low Risk

Based upon the information that is held in our possession, at the time of writing this report, we have found no documentary evidence to indicate the presence of old shallow or surface mine workings underlying the property.

We would consider that the property appears to be at low risk from past mining activity.

Recommendations

We have no recommendations to make in respect of this property.

Low Risk

Scope of Search & Limitations

This search has been carried out with reference to the extensive collection of plans, records and archives that are held in our possession at the time of writing this report and from this material we have endeavoured to give as accurate a report as possible in respect of the property as delineated in the initial request.

However, taking into account that such records may not be wholly complete or accurate, that records may exist of which we do not hold copies, or records exist that are held in private sources which are not available to us and that in Cornwall, Devon and Somerset many ancient shallow workings and shafts exist of which there are no records, we cannot accept liability for any inaccuracies there may be.

This report is concerned solely with the property searched and should not be used in connection with adjacent properties as only relevant mining features have been mentioned and any known features that would not have a direct influence upon the target property may have been omitted for clarity.

The report is based upon the property boundaries as shown on the supplied request plan.

We cannot accept liability for any inaccuracies if the property boundaries, as supplied to us by the client or the client's agent, are subsequently shown to be incorrect, incomplete or if no such request plan has been supplied when the search has been requested.

This report is confidential to the client and the client's legal advisor and the client's mortgage lender and as such may be used by them for conveyancing or related purposes.

We have no liability toward any person or organisation not party to commissioning this report.

This report or any part of it, is not permitted to be reproduced, copied, altered or in any other way distributed by any other person or organisation.

Unless otherwise expressly stated, nothing in this report shall create or confer any rights or other benefits pursuant to the Contracts (Rights of Third Parties) Act 1999 in favour of any person or organisation other than the person/organisation commissioning this report.

This report is not a contaminated land, environmental, geotechnical or archaeological survey and should not be interpreted as such.

No site visit has been made.

We trust that this report is to your satisfaction and will be happy to answer any queries with respect to it.

Yours faithfully,



Wheal Jane Consultancy
dalef@wheal-jane.co.uk
01872 560200

Low Risk

Mining Glossary

Adit	Horizontal mine drainage tunnel driven from low ground into mine workings. The adit tunnel is the shallowest level shown on mine plans and usually represents the earliest period of workings recorded. Adits have ventilation shafts at regular intervals, which are mostly unrecorded.
Alluvium	Clay, sand and debris deposited by a river. Often streamed for tin.
Burrow	A mine waste tip.
Caunter lode	A lode which runs in a different direction to the general trend of lodes in the district.
Coffin/Koffen	Trench-like openwork at surface.
Costean Pit	A small surface pit excavated to locate and/or sample a lode.
Crosscourse	Geological features which run at right-angles to the principal lodes of a district, and are vertical or sub-vertical faults. Mostly barren of payable minerals, but can carry values of iron ore, cobalt and other metallic minerals. Also known as 'guides' or 'trawns' in the St Just and St Ives mining districts respectively.
Crosscut	Tunnel driven underground, usually at right-angles to the lodes.
Dip of Lode	Angle of inclination of a lode from the horizontal.
Drive	Tunnel driven along the course of a lode.
Elvan	Igneous rock (quartz-porphry) occurring as a vein or dyke. Can be extremely hard. Exploited by quarrying.
Granite	Igneous rock. Crystalline mixture of quartz, feldspar and mica.
Greenstone	Igneous rock also called 'blue elvan'. Generally extremely hard.
Gunnis	Open stope at surface or underground.
Kaolinisation	Alterations or weathering of granite to clay and sand from solid rock.
Killas	Generic term given to sedimentary rock in Cornwall.
Leat	A man-made watercourse.
Level	Horizon underground where ore movement and communications are maintained. Levels consist of lode drives and crosscut tunnels: i.e. 12 fathom level; the system of tunnels driven at 12 fathoms below adit horizon.
Lode	A mineralised structure or vein. Most lodes run from surface vertically or sub-vertically, and can vary from a few inches to several metres in width.
Mundic	Iron pyrite, arsenic and sulphur - arsenopyrite.
Openwork	A surface working, which has usually left a pit or backfilled excavation.
Outcrop	The part of the lode which breaks surface. Worked-out voids and backfilled areas are outcrop features.
Rab	Weathered zone of mixed rock and soil (natural profile)
Sett	An area of land leased for mining.
Shaft	Holes in the ground, which can vary from 0.5m x 1m up to shafts 7m across. Engine shafts tends to be large (typically 3m x 2m) and adit shafts are smaller (typically 1.2m x 1.8m). Depths vary down to 700m.
Stockwork	Mass of narrow veins or lodes running parallel and sub-parallel.
Stope	Ground where lode has been removed leaving void. Sometimes open to surface.
Tailings	Residual sands and slimes from ore dressing. Usually heavily contaminated.

Low Risk

Mining References (generic listing)

H G Dines - The Metalliferous Mining Region of South West England (2 Vols)
A K Hamilton Jenkin - Mines & Miners of Cornwall (16 Vols)
A K Hamilton Jenkin - Mines of Devon (2 Vols)
A K Hamilton Jenkin - Wendron
Thomas Spargo - Tin Mines of Cornwall (6 Vols)
J H Collins - Observations of West of England Mining Region
Sellwood, Durrance & Bristow - Geology of Cornwall
Durrance & Laming - Geology of Devon
Burt, Waite & Burnley - Cornish Mines
MRO Plans (CRO)
MRO Copies (SC Archive)
MRO Microfiche (SC)
South Crofty Archive
Tehidy Minerals Archive
JMS/JAB/JHB Archive
Wheal Jane Collection
Wheal Pendarves Collection
Geevor Collection
Thyssen Review & Plans
A K H Jenkin, Annotated 6" Plans
Geological 6" Plans
Richard Thomas Plans
Robert & Brenton Symons Plans
Nicholas Whitley Plans
K Bennet Annotated Plans
R Lyon Annotated Plans
Ordnance Survey 1880, 1906, etc Maps
H G Dines Composites

Low Risk

Search Request Plan

Copy of the request plans provided to Wheal Jane Consultancy to identify the property for search purposes:



Please note that request plans do not automatically follow the convention for north to be oriented 'up' the page, however, all directional references made in this report are based upon correctly oriented mapping resources that are held by Wheal Jane Consultancy.

Accuracy, quick turnaround times, competitive prices, fully qualified and experienced staff, full professional indemnity insurance cover.

Cornwall's first ISO certified mine search and site investigation specialists



Chancel Report



Potential Liability

PinPoint Chancel Ltd has searched its records of historical parishes, tithe boundaries, third party data, and data sourced from The National Archives. It has been determined that the property is located in a historical parish, or tithe district containing a record of Chancel Liability.

1. The data used to identify potential risk are derived from an academic study of historical parish boundaries, and the relevant documentation pertaining to potential chancel repair liability held at The National Archives.
2. PinPoint Chancel Ltd searches against the identified address point of the subject building and not the delineated boundary of the property, in order to establish the location in respect of the relevant historical boundary.
3. PinPoint Information Products Ltd will not be liable for any inaccuracy in the plan and/or address provided by you.
4. This service is only available for properties in England and Wales.

PinPoint can supply an Aviva Insurance Policy to cover this risk. Please log into your account or contact your Reseller to purchase a policy. Prices of all our policies can be found on the following page.

Address:

LAND ADJACENT TO
9 HAREBELL CLOSE
PILLMERE
SALTASH
PL12 6XL

Your reference:

PP01275464

Client reference:

SAL249/2/00761091/387

Date of order:

12 September 2025

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The report is also supported by £10 million Professional Indemnity Insurance; details available on request

If you require any assistance please contact our team:

t: 0844 822 3960

e: info@pinpointinformation.co.uk
www.pinpointinformation.co.uk



PinPoint Chancel Ltd
Riverbank House, 1 Putney Bridge
Approach, London SW6 3JD

PINPOINT CHANCEL AVIVA INSURANCE PREMIUMS

PinPoint Chancel Repair Insurance policies are underwritten by Aviva Insurance.

All policies are:

- **In perpetuity**
- **Successor in title**

Samples can be found on our website www.pinpointinformation.co.uk

The figures quoted below include IPT and administration fees of £6 (including vat)

For higher limits of indemnity or areas greater than 20 acres please contact us on 0844 822 3960 or info@PinPointinformation.co.uk

All policies are:
• **in Perpetuity**
• **Successor in Title**

Residential up to 5 acres – in Perpetuity

Indemnity	Premium
£1,000,000	£45.20
£2,000,000	£118.00
£3,000,000	£184.56

Residential 5 to 20 acres – in Perpetuity

Indemnity	Premium
£1,000,000	£82.07
£2,000,000	£158.14
£3,000,000	£237.39

Commercial up to 3 acres – in Perpetuity

Indemnity	Premium
£250,000	£22.68
£500,000	£40.82
£750,000	£54.43
£1M	£67.92
£1.5M	£90.72
£2M	£113.40
£2.5M	£136.08
£3M	£158.76

Commercial 3 to 5 acres – in Perpetuity

Indemnity	Premium
£250,000	£25.20
£500,000	£45.36
£750,000	£60.48
£1M	£75.60
£1.5M	£100.80
£2M	£126.00
£2.5M	£151.20
£3M	£176.40

Commercial 5 to 20 acres – in Perpetuity

Indemnity	Premium
£250,000	£28.00
£500,000	£50.40
£750,000	£67.20
£1M	£84.00
£1.5M	£112.00
£2M	£140.00
£2.5M	£168.00
£3M	£196.00

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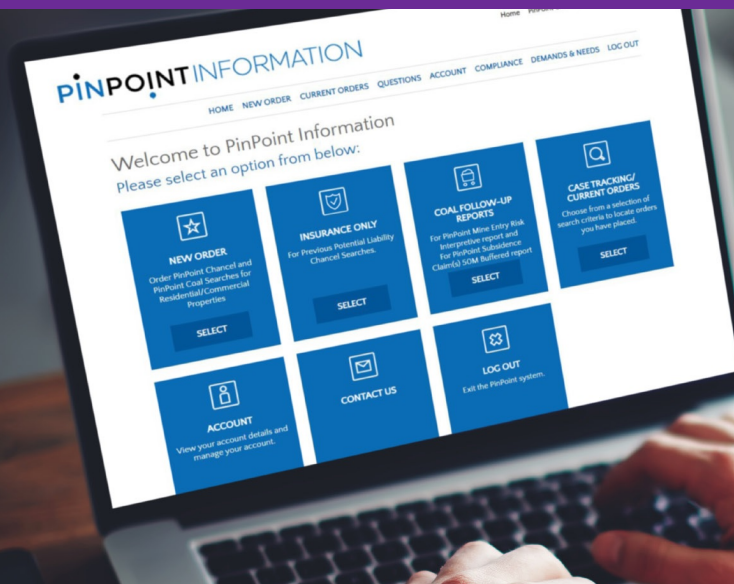
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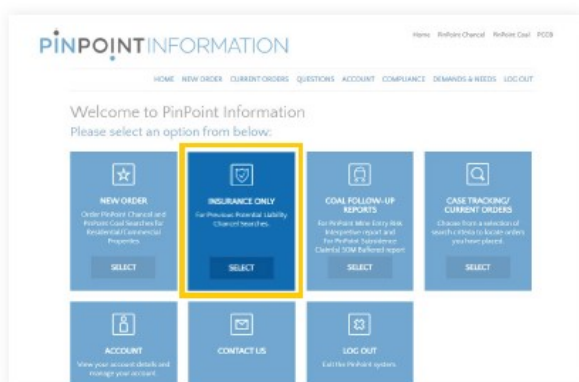


PinPoint Chancel Insurance Order Process



If you wish to obtain PinPoint Chancel Insurance to cover a risk highlighted in a potential liability result, you will need to follow the process below and order it directly from the PinPoint Information website. Policies for properties up to 20 acres can be obtained directly from the website, but if you require a larger policy please contact us at info@pinpointinformation.co.uk

1. Please go to www.pinpointinformation.co.uk to register or login.
2. Please select **Insurance Only**.



4. Click **Next** below the box.

3. Please ensure the product type is set to Chancel and then enter the **search reference number** and the **postcode** of the property from the original Chancel search.

5. You will be presented with the insurance options available for that search (residential or commercial). Select the **product box** you require and click **Next**. Please ensure the address displayed is for the property you require the policy for.

6. Please confirm the statement of fact by ticking the **tick box**, then click **Next** and the transaction is complete. The policy will be sent to your email address within a few minutes.

For further help with the order process please contact:
e: info@pinpointinformation.co.uk t: 0844 822 3960
www.pinpointinformation.co.uk

SALTASH TOWN COUNCIL

Minutes of the Meeting of the Library Sub Committee held at the Library on Tuesday 2nd September 2025 at 6.30 pm

PRESENT: Councillors: R Bickford, J Brady (Vice-Chairman), R Bullock, S Gillies, J Peggs, B Samuels (Chairman) and P Samuels.

ALSO PRESENT: 1 Member of the Public, D Joyce (Office Manager / Assistant to the Town Clerk) and W Peters (Finance Officer)

APOLOGIES: None.

20/25/26 HEALTH AND SAFETY ANNOUNCEMENTS.

The Chairman informed those present of the actions required in the event of a fire or emergency.

21/25/26 DECLARATIONS OF INTEREST:

a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

None.

b. The Town Clerk to receive written requests for dispensations prior to the start of the meeting for consideration.

None.

22/25/26 PUBLIC QUESTIONS - A 15-MINUTE PERIOD WHEN MEMBERS OF THE PUBLIC MAY ASK QUESTIONS OF THE TOWN COUNCIL.

None received.

23/25/26 TO RECEIVE AND APPROVE THE MINUTES OF THE LIBRARY SUB COMMITTEE HELD ON 8 JULY 2025 AS A TRUE AND CORRECT RECORD.

Please see a copy of the minutes on the STC website or request to see a copy at the Guildhall.

It was proposed by Councillor B Samuels, seconded by Councillor Brady and **RESOLVED** that the minutes of the Library Sub Committee held on 8 July 2025 were confirmed as a true and correct record.

24/25/26 TO RECEIVE THE LIBRARY SUB COMMITTEE BUDGET STATEMENT AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was **RESOLVED** to note.

25/25/26 TO CONSIDER RISK MANAGEMENT REPORTS AS MAY BE RECEIVED.

Nothing to report.

26/25/26 TO CONSIDER HEALTH AND SAFETY REPORTS AS MAY BE RECEIVED.

Nothing to report.

27/25/26 TO RECEIVE A REPORT FROM THE COMMUNITY HUB TEAM LEADER AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Members received and reviewed the report included in the circulated pack.

Members welcomed the recommendation to extend opening hours and emphasised the importance of supporting promotional efforts to help increase footfall.

It was proposed by Councillor P Samuels, seconded by Councillor Peggs and **RESOLVED** to:

1. Thank the library staff for their continued commitment to the library service especially during the absence of a CHTL;
2. To approve the change to the Library Hub's operational hours, with the opening time adjusted from 10:00 AM to 9:30 AM on Monday, Tuesday, Thursday, and Friday, effective 8 September 2025, with no additional cost to the Council or consultation with staff required.

Members proceeded to discuss additional points raised in the circulated report, with particular attention given to the use of the library building by commercial businesses.

It was proposed by Councillor Gillies, seconded by Councillor Brady and **RESOLVED** to delegate to the Finance Officer to ascertain the commercial hire charges for the Library building taking into account any variable charges reporting to a future Library meeting for Members

28/25/26 TO REVIEW THE LIBRARY SUB COMMITTEE'S BUSINESS PLAN DELIVERABLES FOR QUARTER TWO AND CONSIDER ANY ACTIONS AND EXPENDITURE.

Members received and reviewed the Library Sub Committee Business Plan Deliverables for Quarter Two 2025/26.

It was proposed by Councillor Brady, seconded by Councillor Peggs and **RESOLVED**:

1. To approve the Town Clerk's scores for Quarter One 2025/26;
2. To delegate to the Town Clerk to score Quarter Two 2025/26.

29/25/26 TO SET THE LIBRARY SUB COMMITTEE FEES AND CHARGES FOR THE YEAR 2026/27 RECOMMENDING TO THE SERVICES COMMITTEE.

Members discussed the fees and charges set by Cornwall Council for the year 2026/27.

It was proposed by Councillor Brady, seconded by Councillor P Samuels and resolved to **RECOMMEND** to the Services Committee to be held on 23 October 2025 to approve the Library Sub Committee Fees and Charges for the year 2026/27, as attached.

30/25/26 TO SET THE LIBRARY SUB COMMITTEE BUDGET FOR THE YEAR 2026/27 RECOMMENDING TO THE SERVICES COMMITTEE.

The Finance Officer worked through the budget statement for the year 2026/27 contained within the circulated reports pack.

It was proposed by Councillor Brady, seconded by Councillor P Samuels and **RESOLVED:**

Operating Income:

1. Budget codes 4526 LI Library Activity Income and 4527 LI Library Vending Machines Income are not required at this stage;

Operating Expenditure:

2. To vire unspent funds from budget code 6910 LI General Repairs and Maintenance – Library to 6971 LI EMF Saltash Library Property Refurbishment, subject to there being an unspent balance available;
3. To vire unspent funds from budget code 6914 LI Equipment - Library to budget code 6972 EMF Library Equipment and Furniture, subject to there being an unspent balance available;
4. To delete budget code 6680 ST LI Staff Clothing (Library) as it is no longer required;

EMF Expenditure

5. To create a new budget code - 6976 LI EMF General repairs and maintenance for planned repairs and maintenance;
6. To vire £930 from budget code 6974 LI EMF Library Funding to 6922 LI Library Activities for the year 2026/27;
7. To delete budget code LI EMF Library Funding as it is no longer required.

8. To **RECOMMEND** to the Services Committee to be held on 23 October 2025 to approve the budget statement for the year 2026/27, as attached.

31/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

Pursuant to Section 1(2) of the Public Bodies (Admissions to Meetings) Act 1960, it was resolved that the public and press leave the meeting because of the confidential nature of the business to be transacted.

32/25/26 TO CONSIDER ANY ITEMS REFERRED FROM THE MAIN PART OF THE AGENDA.

None.

33/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

It was resolved that the public and press be re-admitted to the meeting.

34/25/26 TO CONFIRM ANY PRESS AND SOCIAL MEDIA RELEASES ASSOCIATED WITH ANY AGREED ACTIONS AND EXPENDITURE OF THE MEETING.

It was proposed by Councillor Brady, seconded by Councillor Peggs and **RESOLVED** to issue the following Press and Social Media Releases:

1. Library Hub Opening Hours;
2. Promotion of Library Hub Services

DATE OF NEXT MEETING

Thursday 16 October 2025 at 6.30 pm

Rising at: 7.30 pm

Signed: _____
Chairman

Dated: _____

Saltash Town Council Fees and Charges

Minute Item 29/25/

Description	2025/26 Charge	2026/27 Proposed Charge Deletions Additions / Amendments
Library Charges	Set by Cornwall Council	Set by Cornwall Council
Replacement membership cards:		
Adult members	£1.50	£1.50
Concessions, Access, Young Adult	£1.00	£1.00
Under 16s	£0.50	£0.50
Hire Charges:		
DVDs :		Free
Access-Member limited to 2 at a time	Free	Free
Non-fiction	Free	Free
Access-Member	Free	Free
Audiobook CDs per 3 week loan:		
Adults	Free	Free
Children	Free	Free
Access members, housebound member and looked after children	Free	Free
DVD's & Audio CD's		
All Members		Free
Reservations:		
Adults and Concessionary users All Members	Free	Free
Online reservations	Free with a limit of 6 at any one time	Free with a limit of 10 at any one time
Access and Housebound members	Free	Free
Under 18s	Free with a limit of 6 at any one time	Free with a limit of 6 at any one time
Reader's groups free for items provided from the reading group sets (items outstanding for over 1 month will be charged as lost)	Free	Free
Books on Prescription	Free	Free
Performing Arts collection:		
Vocal and Orchestral sets	No charge	No charge
Vocal and orchestral sets requested from outside Cornwall		
Vocal scores	10 Scores at £4 per month	£1.50 per score per 6 months
Orchestral sets	£10 per set per 3 months	£15 per set per 3 months
Postage charge (please note this charge may vary, ask staff for details)	£7 per 20 copies	£12 per 20 copies
Reservation charge from library authorities inside South West Region (non-refundable)	£6.00	£9.00
Reservation charge from library authorities outside South West Region (non-refundable)	£12.50	£17.50
Renewals will be charged at the rates and time periods as listed above		
Late returns charge		£15.00
Missing part charged at cost plus £15.00 administration fee, unless a new copy is supplied by customer		
Loans not returned in condition received		£50.00
Out of County Inter Library Loan Requests:		
Adults All Members	£11.20	£11.87
Concessions, Young Adults	£10.05	
Children	£4.50	
British library book loan request	£21.00	£22.26
British Library periodical request	£14.70	not listed by CC anymore
British Library Loan Renewal	£5.65 per 3 week renewal period	not listed by CC anymore
Use of public computers (subject to availability):		
Cornwall library members & visitors	Free for two hours	Free for one hour
<i>Note: Extension of time after free period is dependent on availability and discretion of the Library supervisor</i>		
Other library members (English and Welsh Library Authorities on production of a library card)	Free for one hour	
Non-members-		
Access to Wi-Fi	Free for half an hour - no extension	Free
	Free	
Printing from any source:		Including VAT
1-29 sheets (price per sheet)		
Monochrome A4	£0.10	£0.10
Monochrome A3	£0.20	£0.20
Colour A4	£0.50	£0.50
Colour A3	£1.00	£1.00
30 plus sheets (price per sheet)		
Monochrome A4	£0.08	£0.08
Monochrome A3	£0.16	£0.16
Colour A4	£0.40	£0.40
Colour A3	£0.80	£0.80
High gloss colour printing on customer's own paper	£1.00 per sheet	£1.00 per sheet
	£1.25 per sheet	£1.25 per sheet
High gloss colour printing on library paper		High gloss paper not available
Commission rates:		
Requires signed agreement in place between artist and relevant Council	30%	30%
** Minimum Card Transaction £1.50 - This minimum charge is applied to cover the processing fees incurred by the Council for card payments.**		This option is no longer available
Additional Library Charges	Set by Saltash Town Council	Set by Saltash Town Council
Activities	Ticket price to be given on application	Ticket price to be given on application

Services Committee - Library Budget 2025-26
Saltash Town Council
For the year ended 31 March 2026

Black text - budget assumptions
Red text - Further Actions (TBA)
Purple text - new codes
Blue text - recommend virements
Green text - recommendation from Property Maintenance

Account	Prior YTD 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 20230/31
Library Operating Income											
4517 LI Library - Replacement Membership Cards	13	0	50	9	41	50	Same as 2025/26	52	54	56	58
4518 LI Library - Photocopying Fees	941	0	600	275	325	600	Same as 2025/26	623	647	672	698
4524 LI Library Book Sales	131	0	300	48	252	130	Based on Prior Year Income 2024/25	135	140	145	151
4526 LI Library Activity Income	0	0	180	0	180	0	Members agreed this budget code was not required at this stage	0	0	0	0
4527 LI Library Vending Machines Income	0	0	0	0	0	0	Members agreed this budget code was not required at this stage	0	0	0	0
Total Library Operating Income	1,085	0	1,130	332	798	780		810	841	873	907
Library Operating Expenditure											
6900 LI Rates - Library	13,099	0	13,492	13,099	393	13,597	Based on Actual 2025/26 + CPI (subject to Autumn budget statement)	14,114	14,650	15,207	15,785
6901 LI Water Rates - Library	327	0	403	94	309	418	Current Budget + CPI	434	450	467	485
6902 LI Gas - Library	3,196	0	6,216	18	6,198	4,500	Utilities Current Budget + CPI New windows should reduce heating costs (Note 2024/25 lower costs due to building being closed for part of the year due to external building works)	4,671	4,848	5,032	5,223
6903 LI Electricity - Library	3,414	0	4,946	560	4,386	4,000		4,152	4,310	4,474	4,644
6904 LI Fire, Security Alarm & CCTV - Library	788	0	1,143	1,243	(100)	1,186	Current Budget + CPI 2025/26 Contract £826	1,231	1,278	1,327	1,377
6908 LI Cleaning Materials & Equipment - Library	739	0	983	306	677	1,700	Current Budget + CPI to include new window cleaning	1,765	1,832	1,902	1,974
6909 LI Boiler Service & Maintenance - Library	292	0	905	288	618	939	Current Budget + CPI	975	1,012	1,050	1,090
6910 LI General Repairs & Maintenance - Library	2,326	0	2,510	1,463	1,047	2,605	Current Budget + CPI Recommend virement to 6971 LI EMF Saltash Library Property Refurbishment for any surplus budget at YE 2025/26	2,704	2,807	2,914	3,025
6911 LI TV License & PRS - Library	291	0	474	42	432	0	No requirement for 2026/27	0	0	0	0
6913 LI Refreshment Costs - Library	49	0	315	44	271	150	Prior year 2024/25 + £100 (Reduction of £166 based on current budget)	156	162	168	174
6914 LI Equipment - Library	734	0	830	160	670	500	Reduce 2026/27 budget to £500 (saving £330 compared to 2025/26) (Note 6972 LI EMF Library Equipment & Furniture current budget available £5,575) Recommend virement to 6972 EMF Library Equipment & Furniture for any surplus budget at YE 2025/26	519	539	559	580
6921 LI IT & Office Costs - Library	1,558	0	1,827	476	1,351	1,869	Current Budget + CPI	1,940	2,014	2,091	2,170
6922 LI Library Activities	2,465	0	3,000	2,008	992	1,070	Based on Planned Spend £2,000 and reduced by virement from 6974 LI EMF Library Funding -£930	1,111	1,153	1,197	1,242
6975 LI Home Library Service	20	0	550	0	550	200	Based on Planned Spend	208	216	224	233
6923 LI PWLB Loan Repayment & Interest	23,993	0	23,509	11,815	11,694	23,025	Based on Loan Repayment Schedule	22,541	22,057	21,573	21,089
6680 ST LI Staff Clothing (Library) (To be deleted)	0	0	250	0	250		Budget no longer required, to be deleted	0	0	0	0
6681 ST LI Staff Travelling Expenses (Library)	53	0	250	14	236	250	Current budget sufficient (no requirment for CPI increase)	260	270	280	291
Total Operating Expenditure	53,343	0	61,603	31,630	29,973	56,009		56,781	57,598	58,465	59,382
Total Library Operating Surplus/ Deficit	(52,258)	0	(60,473)	(31,298)	(29,175)	(55,229)		(55,971)	(56,757)	(57,592)	(58,475)
Library EMF Expenditure											
6918 LI EMF Legal & Professional Fees (Private Contractors)	600	0	13,105	(300)	13,405	0	Agreed no increase required	0	0	0	0

Account	Prior YTD 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 20230/31
6971 LI EMF Saltash Library Property Refurbishment	64,455	155,909		16,226	139,683	0	Agreed no increase required Recommend virement from 6910 LI General Repairs & Maintenance - Library any surplus budget at YE 2025/26	0	0	0	0
6976 LI EMF Genrerall repairs and maintenance (New Code)	0	0	5,100	0	0	3,200	New code to split Refurbishment work from P&M planned repairs & maintenance P&M recommendation spend £3,200	1,350	2,600	5,350	4,350
6972 LI EMF Library Equipment & Furniture	3,050	5,575	0	0	5,575	0	Agreed no increase required Recommend virement from 6914 LI Equipment - Library any surplus budget at YE 2025/26	0	0	0	0
6974 LI EMF Library Funding (To be deleted)	0	930	0	500	930		External funding received in prior years and planned spend in 6922 LI Library Activities Recommend virement to 6922 LI Library Activities £930 2026/27	0	0	0	0
Total Library EMF Expenditure	68,104	162,414	18,205	16,426	164,693	3,200		1,350	2,600	5,350	4,350
Total Library Expenditure (Operational & EMF)	121,447	162,414	79,808	48,056	194,666	59,209		58,131	60,198	63,815	63,732
Total Library Budget Surplus/ (Deficit)	(120,362)	(162,414)	(78,678)	(47,724)	(193,868)	(58,429)		(57,321)	(59,357)	(62,942)	(62,825)
Estimated CPI 3.8% based on July 25 as reported by Office of National Statistics 20-08-25				Precept 2025/26		(78,678)					
				Precept 2026/26		(58,429)					
				Increase / (Decrease)		(20,249)					
				Difference as %		-25.7%					

SALTASH TOWN COUNCIL

Minutes of the Meeting of the Property Maintenance Sub Committee held at the Guildhall on Thursday 25th September 2025 at 6.30 pm

PRESENT: Councillors: R Bickford, J Brady (Chairman), R Bullock, S Miller, B Samuels (Vice-Chairman), P Samuels and B Stoyel.

ALSO PRESENT: D Joyce (Office Manager / Assistant to the Town Clerk) and W Peters (Finance Officer)

APOLOGIES: P Nowlan.

29/25/26 HEALTH AND SAFETY ANNOUNCEMENTS.

The Chairman informed those present of the actions required in the event of a fire or emergency.

30/25/26 DECLARATIONS OF INTEREST:

a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

None received.

b. The Town Clerk to receive written requests for dispensations prior to the start of the meeting for consideration.

None received.

31/25/26 PUBLIC QUESTIONS - A 15-MINUTE PERIOD WHEN MEMBERS OF THE PUBLIC MAY ASK QUESTIONS OF THE TOWN COUNCIL.

None received.

32/25/26 TO RECEIVE AND APPROVE THE MINUTES OF THE PROPERTY MAINTENANCE SUB COMMITTEE HELD ON 14 AUGUST 2025 AS A TRUE AND CORRECT RECORD.

Please see a copy of the minutes on the STC website or request to see a copy at the Guildhall.

It was proposed by Councillor Brady, seconded by Councillor B Samuels and **RESOLVED** the minutes from the Property Maintenance Sub Committee held on 14 August 2025 were confirmed as a true and correct record.

33/25/26 TO REVIEW THE PROPERTY MAINTENANCE SUB COMMITTEE'S BUSINESS PLAN DELIVERABLES FOR QUARTER TWO AND CONSIDER ANY ACTIONS AND EXPENDITURE.

Members received and reviewed the Property Maintenance Sub Committee Business Plan Deliverables.

It was proposed by Councillor Miller, seconded by Councillor Stoyel and **RESOLVED** to note the scores for Q1 and delegate to the Town Clerk to score Quarter Two 2025/26.

34/25/26 TO RECEIVE AN UPDATE ON THE HEADS OF TERMS FOR THE WATERSIDE TOILET AND SHEDS AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Members reviewed and discussed the report included in the reports pack, with Councillor Bickford providing a brief verbal update on the progress of the feasibility study.

It was proposed by Councillor Brady, seconded by Councillor Bickford and **RESOLVED** to note the report and continue to maintain contact with Network Rail as required.

35/25/26 TO RECEIVE A REPORT ON LONGSTONE PARK TOILETS AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Members discussed the report circulated in the reports pack and agreed that, at this stage, altering the entranceway would not be beneficial. However, all were in agreement that the entrances would benefit from cleaning and repainting.

It was proposed by Councillor Brady, seconded by Councillor B Samuels and **RESOLVED:**

1. To not proceed with the proposed alterations at this time;
2. To approve the Service Delivery Department refresh the external entrance walls by repainting them in a colour that matches the existing exterior brickwork

36/25/26 TO RECEIVE JUBILEE PONTOON MAINTENANCE COST AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

The Assistant to the Town Clerk informed members that a detailed breakdown of costs for the previously considered Pontoon maintenance programme had not yet been received.

It was proposed by Councillor Brady, seconded by Councillor Bickford and **RESOLVED** to defer to a future property Maintenance or Services Committee meeting to allow for a detailed breakdown of associated costs and comparative quotes to be obtained.

37/25/26 TO RECEIVE THE BUILDINGS CONDITION REPORT AND FORECAST BUDGET COSTS AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Members reviewed and discussed the Buildings Condition Report and Forecast Budget Costs contained within the circulated reports pack.

It was proposed by Councillor Brady, seconded by Councillor Stoyel and **RESOLVED** to note the property condition report and approve the forecast budget costs against priorities one to three into the five-year plan.

38/25/26 TO SET THE TOWN COUNCIL FIVE-YEAR REPAIR AND MAINTENANCE PLAN TOGETHER WITH THE SERVICES COMMITTEE BUDGET STATEMENTS AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

The Finance Officer worked through the five-year repair and maintenance plan together for the year 2026/27.

Members carefully reviewed the report against the Building Condition Report and expressed concerns that the carpet recommendation provided by the building surveyor would likely incur additional costs for maintenance or replacement.

It was proposed by Councillor Brady, seconded by Councillor P Samuels and resolved to **RECOMMEND** the Town Council Five-Year Repair and Maintenance Plan to the Extraordinary Services Committee meeting to be held on 23 October, as attached, including the following amendment:

Guildhall Major Works

1. Interior – Carpet Renewal / Replacement part of budget code 6470 GH EMF Guildhall Maintenance be increased from £750 to £1,000 to provide sufficient funds are available for maintenance / renewal.

39/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

40/25/26 TO CONSIDER ANY ITEMS REFERRED FROM THE MAIN PART OF THE AGENDA.

None.

41/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that the public and press be re-admitted to the meeting.

42/25/26 TO CONFIRM ANY PRESS AND SOCIAL MEDIA RELEASES
ASSOCIATED WITH ANY AGREED ACTIONS AND EXPENDITURE
OF THE MEETING.

None.

DATE OF NEXT MEETING

To be confirmed.

Rising at: 7.10 pm

Signed: _____
Chairman

Dated: _____

Saltash Town Council -Services Property Maintenance 5 Year Plan - Major Works/Projects Only													
Page 308	Item	Budget Code	Actual Spent Prior Year	Budget	Actual Spent YTD	Budget Left	Planned/ Committed (Excluded from Budget Left)	Budget					Red text = Notes for considerations Purple text = New Code Blue text = Barron Surveying recommendations Oct 24 Green text = Barron Surveying recommendations June 25 (Priority 1 = 2026/27, Priority 2 = 2027/28 & 2028/29, Priority 3 = 2029/30 & 3030/31
			2024/25	2025/26	2025/26	2025/26	2025/26	2026/2027	2027/2028	2028/2029	2029/2030	2030/2031	
Cemeteries		EMF											
Burial Authority - Churchtown		6070 BA EMF Churchtown Cemetery Capital Works	£0.00	£5,972.00	£0.00	£5,972.00		£1,500.00	£1,500.00	£0.00	£0.00	£0.00	Actual spend £2,258 for fencing the compound area of the site
Churchtown Cemetery TOTAL		TOTAL	£0.00	£5,972.00	£0.00	£5,972.00	£0.00	£1,500.00	£1,500.00	£0.00	£0.00	£0.00	
Joint Burial Board - St Stephens		6170 BB EMF General Maintenance	£0.00	£9,952.00	£0.00	£9,952.00		£3,000.00	£3,000.00	£0.00	£0.00	£0.00	Rebuilding stone wall £15,763 (May 23)
St Stephens Cemetery TOTAL		TOTAL	£0.00	£9,952.00	£0.00	£9,952.00	£0.00	£3,000.00	£3,000.00	£0.00	£0.00	£0.00	
Guildhall - Major works		EMF											All major works completed in 17/18
External repairs and decorations		6470 GH EMF Guildhall Maintenance	£76,364.64	£7,922.00	£6,927.00	£995.00							Completed 2025/26 repairs to stairwell wall £3487. Repairs to external drain £2,463
Exterior - Building				£8,000.00	£0.00	£8,000.00		£7,400.00	£7,400.00	£7,400.00	£7,400.00	£7,400.00	Allow for building wash in 3 years P2 £3,000 and re-paint in 6 years P4 £42,000 = Total £45,000 less £8,000 precept 2025/26 = £37,000 split over 5 years
Internal guildhall decorations works			£0.00	£10,000.00	£0.00	£10,000.00		£10,000.00	£10,000.00	£10,000.00			Last completed June 2018. The Building internally is deteriorating in some areas requiring plastering works and decoration. Is this something that could be done in-house and how will the cost be covered?
Interior - Carpet renewal / replacement				£1,500.00	£0.00	£1,500.00		£1,000.00	£1,000.00				Completed 2013-2018, to be reviewed for 2025/26. (Upstairs office Aug 18 £1,245). Prioritise heavy traffic areas Carpet stretching or replacement required - stretch or replace £3,000 less precept 2025/26 £1,500 Members agreed to increase the 2026/27 & 2027/28 budget to £1,000
Professional Fees for the above		6418 GH EMF Legal & Professional Fees	£9,603.00	£418.00	£0.00	£418.00	£418.00	£2,088.00	£2,088.00	£2,088.00			Committed cost Barron Surveying for Internal decoration Budget 12% of project cost (no budget set for 2025/26, consider budget in future)
Passenger Lift (Insurance requirement to check every Six Months) Emergency EMF		6412 Lift Service & Maintenance (operational code not EMF)	£2,852.00	£3,741.00	£1,237.00	£2,504.00		£4,182.00	£4,487.00	£4,711.35	£4,946.92	£5,194.26	All works quoted to be signed off by insurers. (Otis monthly fee £223.68) . (Budget YoY +5%)
5 Yearly Electrical Inspection		6410 GH General Repairs & Maintenance - Guildhall (operational code not EMF)	£0.00	£0.00	£0.00	£0.00		£1,000.00	£0.00	£0.00	£0.00	£0.00	Pyramid June 22 (Cert £650)
Guildhall - Major works TOTAL		TOTAL	£88,819.64	£31,581.00	£8,164.00	£23,417.00	£418.00	£25,670.00	£24,975.00	£24,199.35	£12,346.92	£12,594.26	

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Item	Budget Code	Actual Spent Prior Year	Budget	Actual Spent YTD	Budget Left	Planned/ Committed (Excluded from Budget Left)	Budget					Red text = Notes for considerations Purple text = New Code Blue text = Barron Surveying recommendations Oct 24 Green text = Barron Surveying recommendations June 25 (Priority 1 = 2026/27, Priority 2 = 2027/28 & 2028/29, Priority 3 = 2029/30 & 3030/31
		2024/25	2025/26	2025/26	2025/26	2025/26	2026/2027	2027/2028	2028/2029	2029/2030	2030/2031	Comments
Library	EMF											
Roof replacement and repair			£0.00			£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£54,760.40 spent on Roof replacement and repair in year 2019/20
Replace curtain walling and windows including Mezzanine Windows	6971 EMF Saltash Library Property Refurbishment (includes Public Works Loan Board)	£59,887.20	£16,226.35	£14,971.80	£0.00							Budget code 6971 = £264,752 (Original Total Amount) Includes £200,000 loan received 1st April 2022 . Annual repayment cost <u>approx</u> £25,000 (£20,000 + interest £4,477 YE 2024). Balance of loan at 31 March 2025 £150,000. Due to be repaid in full April 2032. Project for Horizon Home Improvements £149,718 (2023/24 £74,859 + 2024/25 £59,887 + 2025/26 £14,972). Funding received from CC £15k December 2024
Other Costs		£4,567.37		£1,254.55								Total Spent to 2024/25 £5,282 (including planning application fees, asbestos survey & heritage impact assessment, Zurich Insurance, CC Building control)
Additional staff toilet	6971 EMF Saltash Library Property Refurbishment (includes Public Works Loan Board)	£0.00	£139,682.65	£0.00	£139,682.65							This project is in the early planning stage
Seating area / vending machine												This project is in the early planning stage
Mechanical Extract Fan to Kitchen and Toilets												This project is in the early planning stage
Public fully accessible toilet												This project is in the early planning stage
Roof	6976 LI EMF Library General Repairs & Maintenance (New code to separate General Maintenance from Internal Refurbishment)		£300.00	£300.00	£0.00		£600.00	£1,350.00	£1,350.00	£1,850.00	£1,850.00	2025/26 Actual includes Drone camera survey to inspect condition of upper roof £300 Make allowance for some patch repairs. to roof - P2 £1,500 & P3 £2,500 Periodic access and clearance of gutter outlets. Assume twice yearly. Likely to require MEWP access - P1 £600. P2 £1,200 & P3 £1,200
Gutters and Downpipes			£150.00		£150.00		£2,600.00					Replace broken brackets P1 £250 (Budgeted £150 2025/26) Roof outlet repairs required as Barron Surveying Services letter 4th June 2025. Budget allows for a tower scaffold access
Fascia's and Soffits			£3,400.00		£3,400.00				£1,250.00	£1,250.00	£1,250.00	Thorough clean of self-finished boards to remove moss. Prepare and paint concrete overhang. Allowance made for cherrypicker access. P1 £3,650. P3 £3,650 (Budgeted £3,400 2025/26)
External Wall			£250.00		£250.00							Flexible filler into cracks, close matching colour. (Budgeted £250 2025/26)
Windows and Doors			£1,000.00		£1,000.00					£500.00	£500.00	4no. Metal or timber windows - prepare and paint. P1 £1,000. P3 £1,000 (Budgeted £1,000 2025/26)
Internal										£750.00	£750.00	Piecemeal repairs to carpet tile areas P3 £1,500
Professional Fees for Library Internal improvements	6918 EMF Legal & Professional Fees	£6,900.00	£13,105.00	£0.00	£13,105.00	£11,500.00	£0.00	£0.00	£0.00			Bailey Partnership Total Fee £200k x 11.5% = £23k. 2022/23 £8,050 2023/24 £6,900 and committed £8,050 Committed costs Bailey Partnership Building Regs approval £3,450 Library Sub-committee agreed at precept planning no budget required Budget 12% of project cost
5 Yearly Electrical Inspection	6910 LI General Repairs & Maintenance - Library (operational code not EMF)	£0.00	£1,000.00		£1,000.00		£0.00	£0.00	£0.00	£1,000.00	£0.00	Pyramid March 21 (Cert £460, no remedial work required)
Library TOTAL	TOTAL	£71,354.57	£175,114.00	£16,526.35	£158,587.65	£11,500.00	£3,200.00	£1,350.00	£2,600.00	£5,350.00	£4,350.00	

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Item	Budget Code	Actual Spent Prior Year	Budget	Actual Spent YTD	Budget Left	Planned/ Committed (Excluded from Budget Left)	Budget					<div>Red text = Notes for considerations</div> <div>Purple text = New Code</div> <div>Blue text = Barron Surveying recommendations Oct 24</div> <div>Green text = Barron Surveying recommendations June 25 (Priority 1 = 2026/27, Priority 2 = 2027/28 & 2028/29, Priority 3 = 2029/30 & 3030/31)</div>
		2024/25	2025/26	2025/26	2025/26	2025/26	2026/2027	2027/2028	2028/2029	2029/2030	2030/2031	Comments
Maurice Huggins Room	EMF											RFO ADVISES NOT BUDGETING FOR BUILDING RELATED COSTS AS STC HAS AN IMPLIED TENENACY AT WILL AND NO FORMAL WRITTEN AGREEMENT.
External & Internal repairs and decorations	6472 MA EMF Maurice Huggins Room	£0.00	£3,073.00	£0.00	£3,073.00		£0.00	£0.00	£0.00	£0.00	£0.00	Tenancy At Will - New contract subject to Devolution agreement
Gutters and Downpipes			£300.00	£0.00	£300.00			£0.00	£0.00	£0.00		Check gully for blockages and clean & clear thorough annually P1 £200. P2 £200. P3 £200 (Budgeted £300 2025/26)
Fascia's and Soffits			£300.00	£0.00	£300.00					£0.00		Thorough wash and paint P1 £300. P3 £300 (Budgeted £300 2025/26)
Walls			£1,000.00	£0.00	£1,000.00			£0.00				Prepare and paint
Windows and Doors			£150.00	£0.00	£150.00							Repair cladding board (Budgeted £150 2025/26)
Professional Fees for the above	7018 MA EMF Legal & Professional Fees	£0.00	£0.00	£0.00	£0.00		£0.00	£0.00	£0.00	£0.00	£0.00	Budget 12% of project cost
5 Yearly Electrical Inspection	7010 MA General Repairs & Maintenance (operational code not EMF)	£156.00	£0.00	£0.00	£0.00		£0.00	£0.00	£0.00	£0.00	£0.00	TJ Electrical - Aug 23 (Cert. £200 and remedial work carried out £130)
Maurice Huggins Room TOTAL	TOTAL	£156.00	£4,823.00	£0.00	£4,823.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	
SERVICES												
Longstone Park Depot	EMF											
External & Internal repairs and decorations	7170 EMF Longstone Depot Capital Works	£1,212.00	£3,288.00	£0.00	£3,288.00							Leased from Cornwall Council from 29-03-18 to 28-03-24. STC rent at £390 per month including insurance.
Roof Coverings			£150.00	£0.00	£150.00			£150.00		£150.00		Cut back vegetation from roof edge P1 £150. P2 £150. P3 £150 (Budgeted £150 2025/26)
Gutters and Downpipes			£100.00	£0.00	£100.00							Repair downpipe (Budgeted in 2025/260
Fascia's and Soffits			£500.00	£0.00	£500.00					£500.00		Paint timber fascia and barge boards
External Walls			£2,600.00	£0.00	£2,600.00					£2,600.00		Prepare and paint (Budgeted £2,600 in 2025/26)
External Walls			£1,000.00	£0.00	£1,000.00							Tap test render on this elevation. If hollow, render replacement will be necessary. Allowance for tap test investigation only (Budgeted £1,000 2025/26)
Windows and Doors			£0.00	£0.00	£0.00					£500.00		Prepare and paint timber door included.
Internal			£6,400.00	£0.00	£6,400.00							Remove all de-bonded render off concrete wall left hand elevation. Re-render. Remove ceiling boards in store along length of wall. Inspect joists. Treat and repair as necessary. Reinstate ceilings. Note - full scope of work not known until render removal is underway and timbers exposed. Budget allowance. Tap test shows front corner behind downpipe is hollow and estimate 25% of render area across this wall. (Budgeted £6,400 2025/26)
Windows and Doors Garage Roller Shutter Door			£3,000.00	£0.00	£3,000.00					£2,000.00		Safety works undertaken in Feb 2024 & serviced in July 2025. Potential need for a replacement door in P3. 2029/30. Estimated cost £5,000 (Budgeted £3,000 2025/26)
Professional Fees for the above	7122 EMF Legal & Professional Fees (Longstone)						£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	Estimate 12% of project cost for professional fees
5 Yearly Electrical Inspection	7110 LO General Repairs & Maintenance - Longstone (operational code not EMF)		£0.00	£0.00	£0.00		£0.00	£1,000.00	£0.00	£0.00	£0.00	TJ Electrical - Aug 23 (Cert. £300 and remedial work carried out to Office & Pump Shed £381)
Longstone Park Depot TOTAL	TOTAL	£1,212.00	£17,038.00	£0.00	£17,038.00	£0.00	£1,000.00	£2,150.00	£1,000.00	£6,750.00	£1,000.00	

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Item	Budget Code	Actual Spent Prior Year	Budget	Actual Spent YTD	Budget Left	Planned/ Committed (Excluded from Budget Left)	Budget					Red text = Notes for considerations Purple text = New Code Blue text = Barron Surveying recommendations Oct 24 Green text = Barron Surveying recommendations June 25 (Priority 1 = 2026/27, Priority 2 = 2027/28 & 2028/29, Priority 3 = 2029/30 & 3030/31
		2024/25	2025/26	2025/26	2025/26	2025/26	2026/2027	2027/2028	2028/2029	2029/2030	2030/2031	Comments
Public Toilets	EMF											
Waterside Redevelopment of toilet block to improve facilities	6580 SE EMF Public Toilets (Capital Works)		£26,398.00	£0.00	£26,398.00							Property Maintenance 26.09.24 26/24/25 To RECOMMEND to the Services Committee to be held on 10 October to provide delegated authority to the Town Clerk to further engage with Network Rail to start the 99-year lease proceedings for the Waterside toilets and sheds; Quote £127,250 (to include planning applic/building regs fees, pre-demolition survey and building cost
Alexandra Square Redevelopment of toilet block to improve facilities			£0.00		£0.00							Tenancy at Will. 99 years from 13-11-17 Cornwall Council. (Terms: external painting every 5 years and internally every 3 years)
Longstone Redevelopment of toilet block to improve facilities			£0.00		£0.00							Leasehold 99 years from 01-02-2018 Cornwall Council.
Belle Vue Redevelopment of toilet block to improve facilities			£0.00		£0.00							Leasehold 99 years from 01-02-2018 Cornwall Council.
Professional Fees for above Waterside Toilet project	6595 SE EMF Legal & Professional Fees (Grounds & Premises)		£1,800.00	£0.00	£1,800.00							Fees 15% of project cost (£120,250) = £18,000
Public Toilets TOTAL	TOTAL	£0.00	£28,198.00	£0.00	£28,198.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	
Waterside Sheds	EMF											
Redevelopment of Waterside Sheds 1 - 6	6596 SWE EMF Waterside Sheds (Capital Works)		£0.00		£0.00							Quote £231,700 (to include planning applic/building regs fees, pre-demolition survey and building cost
Professional fees for above			£0.00		£0.00							Quote Fees 12% of project cost (£263,200) = £31,500
Redevelopment of Single Shed over road between pillars			£0.00		£0.00							Quote £32,900 (to include planning applic/building regs fees, pre-demolition survey and building cost
Professional fees for above			£0.00		£0.00							Quote Fees 12% of project cost (£29,400) = £3,550
Waterside Sheds TOTAL	TOTAL	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	
Heritage Building	EMF											
External repairs and decorations as per lease agreement	6471 SE EMF Heritage Centre	£250.00	£8,166.00	£0.00	£8,166.00							2023/24 Actual £1,473 replace guttering including scaffolding
Roof			£300.00	£250.00	£50.00							2025/26 Actual includes Roof. Camera drone survey to examine current conditions £250
Roof			£0.00	£0.00	£0.00		£4,400.00	£4,400.00	£4,400.00	£4,400.00	£4,400.00	Plan to strip and recover the roof in the foreseeable future. P3 £22,000
Building Exterior			£0.00	£0.00	£0.00		£15,000.00					REAR ELEVATION Barron Surveying Services letter 17th October 2024 and scope of work for external decoration and repair. Make plans to carry out the work P1 £15,000
Building Exterior			£27,500.00	£0.00	£27,500.00							At tender through STC 2025 works anticipated Autumn 2025 P1 £12,000
Professional fees for above	6595 SE EMF Legal & Professional Fees (Grounds & Premises)		£5,000.00	£350.00	£4,650.00		£1,000	£1,000	£1,000	£1,000	£1,000	Estimate fees 12% of project cost
Heritage Building TOTAL	TOTAL	£250.00	£40,966.00	£600.00	£40,366.00	£0.00	£20,400.00	£5,400.00	£5,400.00	£5,400.00	£5,400.00	

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Item	Budget Code	Actual Spent Prior Year	Budget	Actual Spent YTD	Budget Left	Planned/ Committed (Excluded from Budget Left)	Budget					Red text = Notes for considerations Purple text = New Code Blue text = Barron Surveying recommendations Oct 24 Green text = Barron Surveying recommendations June 25 (Priority 1 = 2026/27, Priority 2 = 2027/28 & 2028/29, Priority 3 = 2029/30 & 3030/31)
		2024/25	2025/26	2025/26	2025/26	2025/26	2026/2027	2027/2028	2028/2029	2029/2030	2030/2031	Comments
Outdoor Land and Fences	EMF											
Victoria Gardens	6588 SE EMF Victoria Gardens	£519.00	£14,481.00	£0.00	£14,481.00							Licence to Occupy from 17-04-23 to 17-09-23. Extended to 16-02-24. Awaiting 5 year lease from CC. £5,000 grant from CC towards the rail maintenance works. Quote Main park railings, repair to original £110,000. Top park, repair to original £13,500 or design new £26,500
Pillmere land - Open spaces & trees	6591 EMF SE Open Spaces & Trees	£0.00	£16,212.00	£0.00	£16,212.00		£3,000.00	£3,000.00	£0.00	£0.00	£0.00	Tree / Hedge / Pathway / Fencing maintenance works.
Playparks & Open Spaces	6571 SE EMF Saltash Recreation Areas	£2,014.00	£52,791.00	£0.00	£52,791.00		£25,000.00	£25,000.00	£0.00	£0.00	£0.00	Honeysuckle Close, Grassmere Way, Ashton Way (STC responsibility), Harebell Close, Campion Close. 2023/24 Actual cost includes Friends of Summerfields match funding £10k and grant £1k Honeysuckle Close/Grassmere Way completed playparks £94,955. CIL 3 funding approved £75k. Contribution from STC £20k
Town War Memorial	6582 SE EMF Town War Memorial		£1,978.00	£0.00	£1,978.00		£15,000.00					Pursuant to Services 37/24/25 It was proposed by Councillor Bickford, seconded by Councillor Brady and RESOLVED to refer the refurbishment of the Borough War Memorial railings and gates to the Property Maintenance Sub Committee, to sit within the five-year plan setting meeting, for the year 2026/27 precept. Quotation received Dec 2024 £13,600
Outdoor Land and Fences TOTAL	TOTAL	£ 2,533.00	£ 85,462.00	£ -	£ 85,462.00	£ -	£ 43,000.00	£ 28,000.00	£ -	£ -	£ -	
Waterside Pontoon	EMF											
Pontoon Management	6584 SE EMF Pontoon Maintenance Cost	£29,035.00	£118,902.00	£109,850.00	£9,052.00		£2,000.00	£2,000.00	TBC	TBC	TBC	Tenancy at Will with CC. Decking works complete March 2024. Costs for repairs due to storm damage. Phase 1 Lift out and inspection £26,450. Phase 2 Repairs and refloat £109,850. Virement of £109,170 from Genereal Reserves. Insurance claim received £37,563 Future maintenance plans estimated £4k per year (Maintenance Schedule - Annual, 2 Yearly & 8 - 10 Yearly)
Waterside Pontoon TOTAL	TOTAL	£29,035.00	£118,902.00	£109,850.00	£9,052.00	£0.00	£2,000.00	£2,000.00	£0.00	£0.00	£0.00	
Cornish Cross	EMF											
Cornish Cross Management	6593 SE EMF Cornish Cross (Maintenance)		£5,217.00	£0.00	£5,217.00						£6,000.00	2023/24 Actual £5,780 includes torque load check £4,995. Electricity £270 & new colour changing flood light £494. Bar prestressing record last carried out 12.02.24. Next due Feb 2026 (2 years from last check) and then Feb 2031 (5 years from the 2 year check). Budget accordingly to cover cost
Cornish Cross TOTAL	TOTAL	£0.00	£5,217.00	£0.00	£5,217.00	£0.00	£0.00	£0.00	£0.00	£0.00	£6,000.00	
Station (Isambard House)	EMF											
Station refurbishment	6473 EMF Station Building (Purchase and Capital Works)	£31,822.00	£37,366.00	£0.00	£37,366.00		£0.00	£0.00	£0.00	£0.00	£0.00	Refurb works completed March 2020 2024/25 actual spent includes Patio Tables & Chairs £590. Shelving & work benches £585. Fridge & Fridge-freezer £432, kitchen refurbishment, tarmac carpark £25,500 Remaining funds for works to for solar PV, meter install
Building Exterior			£4,000.00		£4,000.00		£2,000.00	£2,000.00	£2,000.00			Rake out and fill cracking, prepare and paint render and all previously painted joinery including chimneys. P2 £10,000 (Budgeted £4,000 2025/26)
Building Exterior			£200.00		£200.00							Minor touch up of windows (Budgeted £200 205/26)
Roof												Re-roofed circa 2020. No work anticipated.
Gutters and Downpipes												Metal Heritage style gutters and downpipes installed circa 2020. Self-finished colour. No work anticipated.
Station retention fund held	6870 EMF Isambard House - Retention	£0.00	£18,492.00	£0.00	£18,492.00		£0.00	£0.00	£0.00	£0.00	£0.00	Available balance £18,492 (retention fund) Snags including crack across floors, stained chimney slates, and tarnished door furniture still to be addressed with Cormac.
5 Yearly Electrical Inspection	6810 SA General Repairs & Maintenance - Isambard House (Operational code not EMF)	£0.00	£0.00		£0.00		£0.00	£500.00	£0.00	£0.00	£0.00	TJ Electrical - Aug 23 (Cert. £300)
Station (Isambard House) TOTAL	TOTAL	£31,822.00	£60,058.00	£0.00	£60,058.00	£0.00	£2,000.00	£2,500.00	£2,000.00	£0.00	£0.00	
GRAND TOTAL		£225,182.21	£583,283.00	£135,140.35	£448,142.65	£11,918.00	£101,770.00	£70,875.00	£35,199.35	£29,846.92	£29,344.26	

Precept 2025/26	£94,009
Increase of	£7,761.00
% Increase	8.3%

SALTASH TOWN COUNCIL

Minutes of the Meeting of the Station Property Sub Committee held at Isambard House on Monday 29th September 2025 at 6.30 pm

PRESENT: Councillors: R Bickford (Vice-Chairman), R Bullock (Chairman), S Miller, B Samuels, P Samuels and B Stoyel.

ALSO PRESENT: D Joyce (Office Manager / Assistant to the Town Clerk) and W Peters (Finance Officer)

APOLOGIES: A Ashburn and J Brady.

24/25/26 HEALTH AND SAFETY ANNOUNCEMENTS.

The Chairman informed those present of the actions required in the event of a fire or emergency.

25/25/26 DECLARATIONS OF INTEREST:

- a. To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

Councillor	Agenda Item	Pecuniary / Non-Pecuniary	Reason	Left the meeting
B Samuels	10	Pecuniary	Submitted quote	Yes
P Samuels	10	Pecuniary	Submitted Quote	Yes

- b. The Town Clerk to receive written requests for dispensations prior to the start of the meeting for consideration.

None received.

26/25/26 QUESTIONS - A 15-MINUTE PERIOD WHEN MEMBERS OF THE PUBLIC MAY ASK QUESTIONS OF MEMBERS OF THE COUNCIL.

None received.

27/25/26 TO RECEIVE AND APPROVE THE MINUTES OF THE STATION PROPERTY SUB COMMITTEE MEETING HELD ON 28 AUGUST 2025 AS A TRUE AND CORRECT RECORD.

Please see a copy of the minutes on the STC website or request to see a copy at the Guildhall.

It was proposed by Councillor Bullock and seconded by Councillor Bickford and **RESOLVED** that the minutes of the Station Property Sub Committee held on 16 September 2025 were confirmed as a true and correct record.

28/25/26 TO CONSIDER RISK MANAGEMENT REPORTS AS MAY BE RECEIVED.

Nothing to report.

29/25/26 TO REVIEW THE STATION PROPERTY SUB COMMITTEE'S BUSINESS PLAN DELIVERABLES FOR QUARTER THREE FOR THE YEAR 2025/26 AND CONSIDER ANY ACTIONS AND EXPENDITURE.

Members discussed the deliverables for quarter two and noted that promotional efforts for the building continue to improve. Members expressed a desire to further enhance these efforts once a Communications and Engagement Officer is appointed but are confident that many of the deliverables are currently on track to be achieved for the year 2025/26.

It was proposed by Councillor Bullock, seconded by Councillor Stoyel and **RESOLVED** to defer to a future Station Property Meeting for further consideration.

30/25/26 TO RECEIVE THE STATION PROPERTY BUDGET STATEMENT AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

It was proposed by Councillor Bullock, seconded by Councillor Bickford and **RESOLVED** to note the budget statement and rename budget code 6818 SA Professional Costs - Isambard House to 6818 SA EMF Professional Costs - Isambard House.

31/25/26 TO RATIFY THE FINAL ACCOUNT FOR ISAMBARD HOUSE.

Members received and discussed the report on the Final Account for Isambard House as contained within the circulated reports pack.

It was proposed by Councillor Bickford, seconded by Councillor P Samuels **RESOLVED**:

1. To ratify the final settlement offer payable to Cormac at a cost of £8,625.00 allocated to budget code 6870 SA EMF Isambard House Retention Fund;
2. To approve the virement of remaining funds from budget code 6870 SA EMF Isambard House Retention Fund to 6473 SA EMF Station Building (Purchase & Capital Works).

Councillor B Samuels declared an interest in the next agenda item and left the meeting.

32/25/26 TO RECEIVE A REPORT ON THE COVERING OF THE FLOORING AT ISAMBARD HOUSE AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Councillor P Samuels remained in the room to provide professional advice and respond to Members questions regarding the condition of the crack in the screed flooring.

Councillor P Samuels advised that the crack appears to continue to be worsening, with the initial edge of the screed beginning to separate from the exposed area. Councillor P Samuels recommended that, should Members wish to cover the floor, the most appropriate solution would be to use carpet tiles. This would allow easier access for future repair works, as the crack will require ongoing attention.

Members thanked Councillor P Samuels for his professional advice.

Councillor P Samuels then declared an interest and left the meeting.

Members discussed both the condition of the crack and the overall acoustics of the room. However, agreed that it would be best to leave the floor uncovered at this time.

It was proposed by Councillor Bullock, seconded by Councillor Stoyel and **RESOLVED** to leave the floor as it is.

33/25/26 TO RECEIVE A REPORT FROM THE RAILWAY200 EXHIBITION WORKING GROUP AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Councillor Bickford gave a brief verbal update on the success of the event, noting that it was well attended, raised funds for the Mayor's chosen charities, and resulted in increased footfall at Trackside Café over the event weekend.

It was proposed by Councillor Bullock, seconded by Councillor Stoyel and **RESOLVED**:

1. To ratify the total cost of £1,194.25 for delivery of the railway leaflet and Railway200 Event projects to be allocated to budget codes 6871 SA EMF Tresorys Kernow Funding and 6872 SA EMF Entertainment Licenses;
2. To approve the working group be disbanded with immediate effect due to the completion of the project;

34/25/26 TO RECEIVE AN UPDATE ON SOLAR PV AND CONSIDER ANY ACTIONS AND ASSOCIATED EXPENDITURE.

Councillor Bickford provided a brief verbal overview of the report included in the circulated pack.

It was proposed by Councillor Bickford, seconded by Councillor Miller and **RESOLVED** to:

1. To note the update report;
2. To ratify the cost of £150+vat to appoint ACD Electrical Green-tech ltd to complete, on behalf of the Town Council, a G99 Application to National Grid for the installation of 10.5kW Solar PV Hybrid Inverter & Battery Storage at Isambard House allocated to budget code 6473 SA EMF Station Building (Purchase & Capital Works);
3. To approve Councillor Ashburn joining the group to further progress the Solar PV specification.

35/25/26

TO SET THE STATION PROPERTY SUB COMMITTEE FEES AND CHARGES FOR THE YEAR 2026/27 RECOMMENDING TO THE SERVICES COMMITTEE.

Members reviewed and discussed the 2026/27 fees and charges, noting that the Town Council continues to offer competitive community rates.

The Finance Officer had conducted a cost analysis and suggested introducing a charge for kitchen use. Members felt a charge was unnecessary and preferred a non-refundable deposit in cases where facilities are left in poor condition. However, as no such incidents have occurred previously, they agreed this may not be required.

It was proposed by Councillor Bullock, seconded by Councillor P Samuels and **RESOLVED** to;

1. Remove the kitchen light use and heavy use proposed charges;
2. **RECOMMEND** to the Services Committee to be held on 24 October 2025 the Station Property Sub Committee Fees and Charges for the year 2026/27, as attached.

TO SET THE STATION PROPERTY SUB COMMITTEE BUDGET FOR THE YEAR 2026/27 RECOMMENDING TO THE SERVICES COMMITTEE.

The Finance Officer worked through the budget statement for the year 2026/27 contained within the circulated reports pack.

It was proposed by Councillor Bullock, seconded by Councillor Bickford and resolved to **RECOMMEND** to the Services Committee to be held on 24 October 2025 the Station Property Sub Committee budget statement for the year 2026/27 (as attached) including the following amendments:

Operating Income

1. To create a new budget code 4305 SA Isambard House – Event Ticket Sales to split income from room bookings;

Operating Expenditure

2. To vire unspent funds from 6810 SA General Repairs and Maintenance Isambard House to 6473 SA EMF Station Building (Building and Capital Works) subject to there being any unspent balance;
3. To vire any unspent funds from budget code 6821 SA IT & Office Costs - Isambard House to 6873 SA EMF General Repairs & Maintenance subject to there being any unspent balance;
4. To delete budget code 6821 SA IT & Office Costs - Isambard House as it is no longer required;

EMF Expenditure

5. To note the virement for any remaining funds from budget code 6870 SA EMF Isambard House Retention Fund to 6473 SA EMF Station Building (Purchase & Capital Works) was agreed under minute nr. 31/25/26;
6. To delete budget code 6870 SA EMF Isambard House Retention Fund as it is no longer required;
7. To delete budget code 6871 SA EMF Tresorys Kernow Funding as it is no longer required;
8. To create a new budget code 6873 SA EMF General Repairs & Maintenance to separate associated costs for planned repairs and maintenance;

9. To vire £4,200 from budget code 6473 SA EMF Station Building (Purchase & Capital Works) to 6873 SA EMF General Repairs & Maintenance as this was previously budgeted for repair and maintenance works.

37/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to Meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

38/25/26 TO CONSIDER ANY ITEMS REFERRED FROM THE MAIN PART OF THE AGENDA.

None.

39/25/26 PUBLIC BODIES (ADMISSION TO MEETINGS) ACT 1960:

To resolve that the public and press be re-admitted to the meeting.

40/25/26 TO CONFIRM ANY PRESS AND SOCIAL MEDIA RELEASES ASSOCIATED WITH ANY AGREED ACTIONS AND EXPENDITURE OF THE MEETING.

It was proposed by Councillor Bullock, seconded by Councillor Bickford and **RESOLVED** to issue a Press and Social Media Release on the successful Railway 200 Event.

DATE OF NEXT MEETING

To be confirmed.

Rising at: 7:18p.m.

Signed: _____
Chairman

Dated: _____

Saltash Town Council Fees and Charges

Description	2025/26 Charge	2026/27 Proposed Charge
Room Hire (VATable)	Including VAT	Including VAT
Isambard House (Station) (Minimum 2 hour booking)		
Casual ph - weekdays, weekends and evenings (Community Rate)	£10.00	£10.00
Casual ph - weekdays 9am - 5pm (Commercial Rate)	£15.00	£15.00
Casual ph - weekends & evenings (Commercial Rate)	£30.00	£30.00
20% Discount for regular bookers evenings and weekends		
Room Hire Art Exhibitions (VATable)		
Isambard House (Station)		
<u>Based on 6 hour day</u>		
Saltash Based Exhibitors Weekdays - per day + 10% commission of sales	£36.00	£36.00
Weekends - per day + 10% commission of sales	£60.00	£60.00
Non Saltash Based Exhibitors Weekdays - per day + 10% commission of sales	£48.00	£48.00
Weekends - per day + 10% commission of sales	£72.00	£72.00
Room Hire Extras (VATable)		
Tea/coffee per cup with biscuits (Community)	£1.00	£1.00
Tea/coffee per cup with biscuits (Commercial)	£1.00	£1.00

Services Committee - Isambard House (Station Building) Budget 2025-26
Saltash Town Council
For the month to July 2025

Black text - budget assumptions
Red text - Further Actions (TBA)
Purple text - new codes
Blue text - recommend virements
Green text - recommendation from Property Maintenance

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 20230/31
Isambard House Operating Income											
4301 SA Isambard House - Room Bookings	8,043	0	6,500	2,193	4,307	4,925	Based on current income - same as 2025/26 £,6500 to be split between room bookings £4,925 and new code for event ticket sales £1,575	5,112	5,306	5,508	5,717
4302 SA Isambard House - Refreshment Income	130	0	120	312	(192)	120	Same as 2025/26 budget. Note This year income includes £238 for one off event	125	130	135	140
4305 SA Isambard House - Event Ticket Sales						1,575	New code to split income between event ticket sales and room bookings. Based on 3 events, average 45 tickets each @ £14 incl VAT (breakeven point)	1,635	1,697	1,761	1,828
Total Isambard House Operating Income	8,173	0	6,620	2,505	4,115	6,620		6,872	7,133	7,404	7,685
Isambard House Operating Expenditure											
6800 SA Rates - Isambard House	3,842	0	3,958	3,842	116	4,108	Based on Actual 2025/26 + CPI (subject to Autumn budget statement on 26/11/2025)	4,264	4,426	4,594	4,769
6801 SA Water Rates - Isambard House	693	0	714	(1,579)	2,293	741	Current Budget + CPI	769	798	828	859
6802 SA Gas - Isambard House	438	0	3,000	73	2,927	650	Based on 3 year average spend (reduction of £2,650 from current budget)	675	701	728	756
6803 SA Electricity - Isambard House	4,817	0	7,494	1,417	6,077	6,000	Based on Prior Year which includes additional use for café (reduction of £1,494 from current budget)	6,228	6,465	6,711	6,966
6804 SA Fire & Security Alarm - Isambard House	473	0	967	403	564	1,004	Current Budget + CPI Note: Annual security cost £403	1,042	1,082	1,123	1,166
6808 SA Cleaning Materials & Equipment - Isambard House	1,026	0	1,350	716	634	1,350	Current Budget (no increase required based on 3 year average spend)	1,401	1,454	1,509	1,566
6810 SA General Repairs & Maintenance - Isambard House	1,889	0	2,560	49	2,511	2,000	Based on prior Year (reduction of £560 from current budget) Recommend virement to 6473 SA EMF Station Building (Building & Capital Works) for any surplus budget at YE 2025/26	2,076	2,155	2,237	2,322
6813 SA Refreshments Costs - Isambard House	81	0	500	367	133	519	Current Budget + CPI	539	559	580	602
6814 SA Equipment - Isambard House	426	0	1,094	58	1,036	1,094	Current Budget (no increase required based on 3 year average spend)	1,136	1,179	1,224	1,271
6821 SA IT & Office Costs - Isambard House (To be deleted)	0	0	500	0	500	0	No requirement for this budget - delete at Year End Recommend virement to 6873 SA EMF General Repairs & Maintenance for any surplus budget at YE 2025/26	0	0	0	0
6822 SA Activities & Events	1,886	0	1,106	0	1,106	1,575	Based on 3 events	1,635	1,697	1,761	1,828
Total Operating Expenditure	15,571	0	23,243	5,346	17,897	19,041		19,765	20,516	21,295	22,105
Total Isambard House Operating Surplus/ (Deficit)	(7,398)	0	(16,623)	(2,842)	(13,781)	(12,421)		(12,893)	(13,383)	(13,891)	(14,420)
Isambard House EMF Expenditure											
6473 SA EMF Station Building (Purchase & Capital Works)	31,822	37,366	4,200	423	41,143	0	No budget required Solar Panels and other projects Recommend virement of £4,200 to 6873 SA EMF General Repairs & Maintenance	0	0	0	0
6818 SA EMF Professional Fees - Isambard House	105	0	3,211	0	3,211	0	No requirement for precept budget	0	0	0	0
6870 SA EMF Isambard House Retention Fund	0	18,492	0	0	18,492	0	Settlement agreed for final balance to Cormac £8,625 No further fees expected Delete code when Cormac account has been finalised	0	0	0	0

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 20230/31
6871 SA EMF Tresorys Kernow Funding	35	562	0	0	562	0	Committed Cost £562 for Railway 200 exhibition Delete code when all funds have been spent	0	0	0	0
6872 SA EMF Entertainment Licenses	0	2,132	0	0	2,132	0	Committed cost £1,000 Railway promotion leaflet	0	0	0	0
6873 SA EMF General Repairs & Maintenance	0	0	0	0	0	2,000	New code to split work from P&M planned repairs & maintenance P&M recommendation spend £2,000	2,000	2,000	0	0
Total Isambard House EMF Expenditure	31,962	58,552	7,411	423	65,540	2,000		2,000	2,000	0	0
Total Isambard House Expenditure (Operational & EMF)	47,533	58,552	30,654	5,770	83,436	21,041		21,765	22,516	21,295	22,105
Total Isambard House Budget Surplus/ (Deficit)	(39,360)	(58,552)	(24,034)	(3,265)	(79,321)	(14,421)		(14,893)	(15,383)	(13,891)	(14,420)
Estimated CPI 3.8% based on July 25 as reported by Office of National Statistics 20-08-25					Precept 2025/26	(24,034)					
					Precept 2026/26	(14,421)					
					Increase / (Decrease)	(9,613)					
					Difference as %	40.0%					

To set the Services Committee Fees and Charges for the year 2026/27
recommending to the Policy and Finance Committee

Report to: Service Delivery Committee

Date of Report: 17 October 2025

Officer Writing the Report: Finance Officer

Purpose of the report:

To provide the Committee with relevant information to support the setting of the Services fees and charges that are both appropriate and aligned with the operational requirements of the Town Council.

Officers Recommendations:

1. Sub Committee Recommendations:

Members are asked to consider approving the following recommendations from the relevant Sub-Committees:

- Library:

It was proposed by Councillor Brady, seconded by Councillor P Samuels and resolved to **RECOMMEND** to the Services Committee to be held on 23 October 2025 to approve the Library Sub Committee fees and charges for the year 2026/27, as attached.

Please note: several amendments have been made to the current library fees and charges.

- Station Property:

It was proposed by Councillor Bullock, seconded by Councillor P Samuels and RESOVLED to:

Remove the kitchen light use and heavy use proposed charges;

RECOMMEND to the Services Committee to be held on 23 October 2025 to approve the Station Property Sub Committee fees and charges for the year 2026/27, as attached.

2. Room Hire Fees and Charges:

Members are asked to consider retaining the current community room hire charges for the Guildhall and Maurice Huggins Room, as the existing rates remain competitive.

Members may also wish to consider reducing the commercial room hire charges for the Guildhall, in light of comparative rates offered by neighbouring Town Councils and local venues. A reduction may help attract a broader range of commercial bookings, potentially increasing overall revenue.

Refer to:

- **Appendix A** – Comparison with local venues
- **Appendix B** – Comparison with neighbouring Town Councils

3. Refreshment Fees and Charges:

Members are asked to consider retaining the current refreshment charges for the Guildhall and Maurice Huggins Room due to insufficient data to support an increase at this time.

Feedback from hirers has indicated interest in using the kitchen area to provide their own refreshments. However, the Station Property Sub-Committee resolved not to pursue this option. To maintain consistency and reduce the risk of error, Members are advised to adopt the same approach, subject to agreement with the Station Property recommendation.

4. Mooring Fees and Charges:

Members are asked to consider whether to increase the mooring fees for the ten permanent berths, ensuring any adjustment is fair, reasonable, and aligned with the operational needs of the Town Council.

While no comparative data has been collected, it is noted that like-for-like comparisons are challenging due to varying facilities at each pontoon (e.g., showers, toilets, café, electricity).

The current charges for the Trusted Boat Owner Scheme and Daily Visiting Berths appear proportionate following previous changes. However, Members may also wish to consider potential adjustments to these fees, but please be mindful there is no like-for-like data for justification.

Report Summary:

Saltash Town Council currently receives a healthy number of bookings across two sites, the Guildhall and Isambard House, along with one regular hirer at the Maurice Huggins Room. There is clear potential to increase usage through improved promotion of these facilities.

Members are reminded that the Maurice Huggins Room is owned by Cornwall Council and is part of ongoing Devolution discussions. The building is projected to cost the Town Council approximately £3,337 annually, based on an estimated income of £1,400 and expenditure of £4,759.

Appendices A and B provide comparisons with local venues and neighbouring councils, respectively. This benchmarking exercise is essential to ensure Saltash Town Council remains competitive in the local market. A similar review of refreshment costs is planned for next year.

Regarding mooring fees, the 2024–25 structure was simplified by applying a rate based on boat length, the longer the boat, the higher the fee. In 2025–26, the same rate was applied, but based on the maximum boat length, regardless of actual size.

There has been no increase to the Daily Visiting fee; however, the free stay period was reduced from 2 hours to 30 minutes. The Trusted Boat Owner Scheme fees remain unchanged, with the only update being the inclusion of a fob for easier access.

It is anticipated that the Town Council's insurance premium may increase next year, following a significant claim related to storm damage.

The table below provides income data for the ten permanent mooring berths and trusted boat owner scheme:

	2024/25 Invoiced		2025/26 Invoiced		2026/27 Projected income if all berths full for 12 months	
Berth	Excl VAT	Incl VAT	Excl VAT	Incl VAT	Excl VAT	Incl VAT
Mooring Berth 1	£1,237.19	£1,484.63	£1,867.81	£2,241.37	£2,250.00	£2,700.00
Mooring Berth 2	£858.49	£1,030.19	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 3	£670.70	£804.84	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 4	£670.70	£804.84	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 5	£736.43	£883.71	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 6	£1,521.06	£1,825.27	£1,867.81	£2,241.37	£2,250.00	£2,700.00
Mooring Berth 7	£804.83	£965.80	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 8	£933.61	£1,120.33	£992.71	£1,191.25	£1,195.83	£1,435.00
Mooring Berth 9	£616.87	£740.25	£920.63	£1,104.75	£1,195.83	£1,435.00
Mooring Berth 10	£563.92	£676.71	£992.71	£1,191.25	£1,195.83	£1,435.00
	£8,613.80	£10,336.57	£11,605.22	£13,926.24	£14,066.67	£16,880.00
Trusted Boater Scheme	£2,037.44	£2,445.00	£1,249.95	£1,500.00	£83.33	£100.00
No of Users	25 Full Year / 3 Half Year		15 Full Year / 0 Half Year			

Signature of Officer:

Finance Officer

Appendix A

Saltash Town Council	Dimensions	Cost Per Hour	Extras?
Guildhall (Community Charge)	7m x 16m (112m ²) Up to 200 people standing	9am – 5pm £10.30 Evening/ Weekend £21.50	Tea/coffee per cup with biscuits £1.00
Guildhall (Commercial Charge)	Up to 110 people seated	9am – 5pm £15.40 Evening/ Weekend £25.90	Tea/coffee per cup with biscuits £1.00
Council Chamber (Community Charge)	6.55m x 8.40m (55m ²) Up to 100 people standing	9am – 5pm £10.30 Evening/ Weekend £15.40	Tea/coffee per cup with biscuits £1.00
Council Chamber (Commercial Charge)	Up to 55 people seated	9am – 5pm £15.40 Evening/ Weekend £18.50	Tea/coffee per cup with biscuits £1.00
Isambard House (Community Charge)	6.9m x 12.80m (88m ²)	£10	Tea/coffee per cup with biscuits £1.00
Isambard House (Commercial Charge)	Up to 200 people standing Up to 82 people seated	9am – 5pm £15.00 Evening/ Weekend £30.00	Tea/coffee per cup with biscuits £1.00
Maurice Huggins Room (Community Charge)	Up to 60 People	9am – 5pm £5.15 Evening/ Weekend £7.70	Tea/coffee per cup with biscuits £1.00

Oaklands	Dimensions	Cost Per Hour	Extras?
Community Centre Room		£10 (Commercial)	Wifi, Kitchen facilities
Community Centre Room		£2.50 (Community)	

Saltash Baptist	Dimensions	Cost Per Hour	Extras?
Worship Area	10M x 10M	£15	
Upper Hall	7.5M x 12M	£12	
Lower Hall	10M x 10M	£10	
Whole Church Building		£250 per day/ £850 per week	
Meeting room 1	4M x 6M	£6	
Meeting room 2	4M x 6M	£10	

The Core	Dimensions	Cost Per Hour	Extras?
Community/Sports Hall	16.6m x 8.7m	£18 (Group Meetings)	
Community/Sports Hall		£60 (Party/One-off)	
Multipurpose Hall	7.8m x 6.1m	£12 (Group Meetings)	
Multipurpose Hall		£33 (Party/One-off)	
Kitchen Diner	6.1m x 6.1m	£12	Full Kitchen setup
Entire centre		£30	

Appendix B

Saltash Town Council	Dimensions	Cost Per Hour	Extras?
Guildhall (Community Charge)	7m x 16m (112m ²) Up to 200 people standing	9am – 5pm £10.30 Evening/ Weekend £21.50	Tea/coffee per cup with biscuits £1.00
Guildhall (Commercial Charge)	Up to 110 people seated	9am – 5pm £15.40 Evening/ Weekend £25.90	Tea/coffee per cup with biscuits £1.00
Council Chamber (Community Charge)	6.55m x 8.40m (55m ²) Up to 100 people standing	9am – 5pm £10.30 Evening/ Weekend £15.40	Tea/coffee per cup with biscuits £1.00
Council Chamber (Commercial Charge)	Up to 55 people seated	9am – 5pm £15.40 Evening/ Weekend £18.50	Tea/coffee per cup with biscuits £1.00
Isambard House (Community Charge)	6.9m x 12.80m (88m ²) Up to 200 people standing	£10	Tea/coffee per cup with biscuits £1.00
Isambard House (Commercial Charge)	Up to 82 people seated	9am – 5pm £15.00 Evening/ Weekend £30.00	Tea/coffee per cup with biscuits £1.00
Maurice Huggins Room (Community Charge)	Up to 60 People	9am – 5pm £5.15 Evening/ Weekend £7.70	Tea/coffee per cup with biscuits £1.00

Plymouth City Council Facilities	Dimensions	Cost Per Hour	Extras?
Harewood House	Up to 150 People	(8am to 8pm) £25 (after 8pm) Weekend /Bank Holiday rate £33	Party rate standard (age 13 and over) - £38 per hour Party rate evening (age 13 and over) - £46 per hour
Plympton St Maurice Guildhall	Up to 80 People	(8am to 8pm) £21 (after 8pm) Weekend /Bank Holiday rate £25	
St Maurice Council chamber	Up to 30 People	(8am to 8pm) £16 (after 8pm) Weekend /Bank Holiday rate £20	

Torpoint Town Council Facilities	Dimensions	Cost Per Hour	Extras?
Main Hall	30ft (9.14m) x 50ft (15.24m)	£18.00	
Committee Room	21ft (6.4m) x 31ft (9.45m)	£12.00	
Mayor's Parlour	A comfortable room that can seat up to 12 people	£8.00	
Hire of Bénodet Park		£12.00	

Callington Town Council Facilities	Dimensions	Cost Per Hour	Extras?
Main Hall	18.5 meters long x 7.7 meters wide (excluding stage)	8am – 5pm £10.00 5pm – 12pm £13.50	Insurance £5.00 Kitchen Light Use £12.50 Kitchen Heavy Use £25.00
Council Chamber	7.6 meters long x 7.05 meters	8am – 5pm £6.00 5pm – 12pm £9.00	Insurance £5.00 Kitchen Light Use £12.50 Kitchen Heavy Use £25.00
Committee Room	4.8 meters long x 3.7 meters wide	8am – 5pm £6.00 5pm – 12pm £6.00	Insurance £5.00 Kitchen Light Use £12.50 Kitchen Heavy Use £25.00
Lounge Bar	6.1 meters long x 3.7 meters wide	8am – 5pm £6.00 5pm – 12pm £6.00	Insurance £5.00 Kitchen Light Use £12.50 Kitchen Heavy Use £25.00

Liskeard Town Council Facilities	Dimensions	Cost Per Hour	Extras?
Main Hall	Floor: 217m ²	8:00am - 17:30pm £31 18:00pm - 10:30pm £61.50	
Council Chamber	50m	£15.50	

Launceston Town Council Facilities	Dimensions	Cost Per Hour	Extras?
Main Hall (Community Charge)	20m x 12m	8am – 5pm £40.00 5pm – 12pm £78.00	
Main Hall (Commercial Charge)	20m x 12m	8am – 5pm £47.00 5pm – 12pm £93.00	
Guildhall (Community Charge)	9m x 4.5m Maximum Capacity	8am – 5pm £56 5pm - 12pm £67	
Guildhall (Commercial Charge)		8am – 5pm £67 5pm - 12pm £82	
Otho Peter Suite (Community Charge)	4.5 x 4m	8am – 5pm £23 5pm - 12pm £34	
Otho Peter Suite (Commercial Charge)		8am – 5pm £27 5pm - 12pm £41	

Saltash Town Council
Fees and Charges

Description		2025/26 Charges	2026/27 Proposed Charge Amendments/Deletions Additions/Amendments
Room Hire (Non VATable)		Non VATable	Non VATable
Guildhall (Minimum 2 hour booking) Casual ph - weekdays 9am - 5pm (Community Rate) Casual ph - weekends & evenings (Community Rate) Casual ph - weekdays 9am - 5pm (Commercial Rate) Casual ph - weekends & evenings (Commercial Rate) Council Chamber Casual ph - weekdays 9 am - 5pm (Community Rate) Casual ph - weekends & evenings (Community Rate) Casual ph - weekdays 9am - 5pm (Commercial Rate) Casual ph - weekends & evenings (Commercial Rate) 20% Discount for regular bookers evenings and weekends			
		£10.30	£10.30
		£21.50	£21.50
		£15.40	£15.40
		£25.90	£25.90
		£10.30	£10.30
		£15.40	£15.40
		£15.40	£15.40
		£18.50	£18.50
Room Hire Extras (VATable)		Including VAT	Including VAT
Tea/coffee per cup with biscuits (Community)		£1.00	£1.00
Tea/coffee per cup with biscuits (Commercial)		£1.00	£1.00
Kitchen Light Use (e.g. kitchen thoroughly cleaned after use)			£12.00
Kitchen Heavy Use (e.g. requires cleaning after use)			£24.00
Room Hire (Non VATable)		Non VATable	Non VATable
Maurice Huggins (Minimum 2 hour booking) Casual ph - weekdays 9 am - 5pm (Community Rate) Casual ph - weekends & evenings (Community Rate) <u>Not for Commercial Use</u> 20% Discount for regular bookers evenings and weekends			
		£5.15	£5.15
		£7.70	£7.70
Room Hire Extras (VATable)		Including VAT	Including VAT
Tea/coffee per cup with biscuits (Community)		£1.00	£1.00
Tea/coffee per cup with biscuits (Commercial)		£1.00	£1.00
Other Charges (VATable)		Including VAT	Including VAT
<u>Available at The Guildhall & Library</u> 1-29 sheets (price per sheet) Monochrome A4 Monochrome A3 Colour A4 Colour A3 30 plus sheets (price per sheet) Monochrome A4 Monochrome A3 Colour A4 Colour A3 High gloss colour printing on customer's own paper High gloss colour printing on library paper Freedom of Information Charge (first 18 hours free of charge) Environmental Information Regulations 2004 (first 18 hours free of charge)			
		£0.10	£0.10
		£0.20	£0.20
		£0.50	£0.50
		£1.00	£1.00
		£0.08	£0.08
		£0.16	£0.16
		£0.40	£0.40
		£0.80	£0.80
		£1.00 per sheet	£1.00 per sheet
		£1.25 per sheet	£1.25 per sheet
			High gloss paper not available
		£25.00 per hour	£25.00 per hour
		£25.00 per hour	£25.00 per hour
Mooring Fees (VATable)		Including VAT	Including VAT
Permanent Pontoon Moorings Permanent Pontoon (Berth 1 & 6) charged per annum - Maximum length 12 metres (<u>Non Commercial</u>) * Permanent Pontoon (Berth 1 & 6) charged per annum - Maximum length 12 metres (<u>Commercial</u>) * Permanent Pontoon (Berth 2 - 5 & 7 - 10) charged per annum - Maximum length 7 metres (<u>Non Commercial</u>) * Permanent Pontoon (Berth 2 - 5 & 7 - 10) charged per annum - Maximum length 7 metres (<u>Commercial</u>) Note: Longer boats maybe considered subject to prorata charges. Please contact Service Delivery department for more information			
		£2,700.00	£2,700.00
		£4,080.00	£4,080.00
		£1,435.00	£1,435.00
		£2,170.00	£2,170.00
Daily Visiting	Visiting boats - (30 minutes);charge for 24 hour period (<u>Non Commercial</u>)	£30.00	£30.00
	Visiting boats - (30 minutes);charge for 24 hour period (<u>Commercial</u>)	£45.00	£45.00
Trusted Boat Owner Scheme	* Trusted Boat Owner Scheme - (casual users); charge for 12 months (1st April - 31st March) <i>Contract includes 2 hours free stay per visit and a fob for easy access and 2 free overnight stays per 12 month period</i>	£100.00	£100.00
	* Trusted Boat Owner Scheme (casual users); charge for 6 months (Autumn/Winter, 1st September - 31st March) <i>Contract includes 2 hours free stay per visit and a fob for easy access and 1 free overnight stay per autumn/winter period</i> * Subject to Terms & Conditions	£50.00	£50.00
Allotments (Non VATable)		Non VATable	Non VATable
	Grenfell Avenue, charge per annum	£40.00	£40.00
	* Fairmead Road, charge per annum	£55.00	£55.00
	* Churchtown, charge per annum	£60.00	£60.00
	* Water, charge per annum (Fairmead & Churchtown only)	£15.00	£15.00

Services Committee - Service Delivery Budget 2025-26
Saltash Town Council
For the 5 months ending August 2025

Black text - budget assumptions
Red text - Further Actions (TBA)
Purple text - new codes/rename
Blue text - recommend virements
Green text - recommendation from Property Maintenance

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 2030/31
Service Delivery Operating Income											
Grounds & Premises Income											
4500 SE Allotment Rents	5,359	0	5,000	6,685	(1,685)	3,413	Based on quantity of allotments x fee (2026/27) Note: Actual includes income for 2026/27 £1,632 which will be adjusted at Year End and transferred to 2026/27	3,543	3,678	3,818	3,963
4510 SE Public Footpath Grant Grass Cutting & Planting (Rename code)	806	0	426	1,226	(0)	426	Based on current SLA contract with CC	442	459	476	494
4513 SE Water Rates Income	755	0	1,113	109	1,004	262	Based on Actual YTD (Reduction due to SBC no longer being charged sewerage fee for Bowling Green)	272	282	293	304
Total Grounds & Premises Income	6,920	0	6,539	8,021	(682)	4,101		4,257	4,419	4,587	4,761
Town & Waterfront Income											
4520 SE Waterfront Income - Trusted Boat Scheme	2,037	0	2,000	1,250	750	1,250	Based on Actual 2025/26 (reduction of £750 for the year)	1,298	1,347	1,398	1,451
4521 SE Waterfront Income - Annual Mooring Fees	8,614	0	13,364	11,605	1,759	14,066	Based on current berths x fee (2025/26)	14,601	15,156	15,732	16,330
4522 SE Waterfront Income - Daily Mooring Fees	7,200	0	750	650	100	650	Based on Actual 2025/26 (reduction of £100 for the year)	675	701	728	756
Total Town & Waterfront Income	17,851	0	16,114	13,505	2,609	15,966		16,574	17,204	17,858	18,537
Total Service Delivery Operating Income	24,771	0	22,653	21,526	1,927	20,067		20,831	21,623	22,445	23,298
Service Delivery Operating Expenditure											
Grounds & Premises Expenditure											
6209 SE Oyster Beds	0	0	1	3	(2)	1	Based on Current Year Budget	1	1	1	1
6500 SE Tree Survey and Tree Maintenance	8,262	0	20,000	1,850	18,150	10,000	Reduction of current budget by £10,000 (2025/26 includes budget for maintenance work at Pilmere) Recommend virement to 6591 SE EMF Tree Maintenance for any surplus funds at Year End	10,380	10,774	11,183	11,608
6503 SE Allotments - Churchtown	1,324	0	1,000	0	1,000	500	Reduction of current budget by £500 (2025/26 budget includes new water troughs) Recommend virement to 6599 SE EMF Allotments for any surplus funds at Year End	519	539	559	580
6532 SE Allotments - Grenfell	0	0	3,500	120	3,380	500	Reduction of current budget by £3,000 (2025/26 budget includes fencing and gates) Recommend virement to 6599 SE EMF Allotments for any surplus funds at Year End	519	539	559	580
6533 SE Allotments - Fairmead	0	0	2,000	20	1,980	750	Reduction of current budget by £1,250 including water usage (2025/26 budget includes improvements to accessibility) Recommend virement to 6599 SE EMF Allotments for any surplus funds at Year End	779	809	840	872
6506 SE Grounds Maintenance & Watering	10,721	0	18,000	12,479	7,971	12,000	Reduction of current budget by £6,000 (no plan to maintain Victoria Gardens or other devolved assets)	12,456	12,929	13,420	13,930
6508 SE Public Toilets (Operational Costs)	6,533	0	7,051	1,817	5,234	7,319	Current Year Budget + CPI	7,597	7,886	8,186	8,497
6517 SE Cornish Cross (Maintenance)	328	0	400	53	347	415	Current Year Budget + CPI	431	447	464	482
6525 SE Public Toilets (Repairs & Maintenance Costs)	1,441	0	3,043	352	2,691	3,159	Current Year Budget + CPI	3,279	3,404	3,533	3,667
6526 SE Tools, Equipment & Materials (Store & All Areas)	4,747	0	5,318	2,587	2,731	5,520	Current Year Budget + CPI	5,730	5,948	6,174	6,409
6529 SE Refuse Disposal	6,181	0	6,694	2,646	4,048	6,948	Current Year Budget + CPI	7,212	7,486	7,770	8,065
6530 SE Allotment Software Subscription	669	0	462	420	42	508	Current Year Budget + 10%	527	547	568	590
6531 SE Public Toilet Commercial Cleaning	34,370	0	38,469	15,941	22,528	42,175	25/26 contract £38,342 + 10% to include min wage costs	43,778	45,442	47,169	48,961
Total Grounds & Premises Expenditure	74,575	0	105,938	38,288	70,100	89,795		93,208	96,751	100,426	104,242
Longstone Expenditure											
7100 LO Rates - Longstone	0	0	0	0	0	0	Check with CC if rates applicable for 2026/27	0	0	0	0
7101 LO Water Rates - Longstone	2,345	0	1,782	1,583	199	2,434	Prior Year Budget + CPI	2,526	2,622	2,722	2,825
7103 LO Electricity - Longstone	1,580	0	1,629	413	1,216	1,691	Current Year Budget + CPI	1,755	1,822	1,891	1,963
7104 LO Fire & Security Alarm & CCTV - Longstone	89	0	1,117	585	532	1,159	25/26 Contract £368 plus budget for maintenance	1,203	1,249	1,296	1,345
7107 LO Rent - Longstone	4,680	0	6,084	1,950	4,134	4,680	Check with CC if any increase in rent and insurance	4,858	5,043	5,235	5,434
7108 LO Cleaning Materials & Equipment - Longstone	650	0	363	131	232	377	Current Year Budget + CPI	391	406	421	437
7110 LO General Repairs & Maintenance - Longstone	1,194	0	2,500	120	2,380	5,595	Current Year Budget + CPI Additional £3k for new chemical & storage units SB to confirm	5,808	6,029	6,258	6,496
7114 LO Equipment - Longstone	0	0	1,700	996	704	500	Reduction of current budget by £1,200	519	539	559	580
7121 LO IT & Office Costs - Longstone	616	0	1,773	738	1,035	1,290	Reduction of current budget by £483	1,339	1,390	1,443	1,498
7123 LO Annual Keyholding Service (new code)	0	0	0	0	0	184	2025/26 Contract £167 + 10% Previously budgeted to Guildhall	191	198	206	214
6673 ST SE Services Delivery Clothing	1,374	0	2,504	836	1,668	2,599	Current Year Budget + CPI	2,698	2,801	2,907	3,017

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 2030/31
6674 ST SE Services Delivery - Mobiles	904	0	2,060	1,037	1,023	2,244	Average monthly cost £165 + Annual MDM subscription £60 + 10% increase	2,329	2,418	2,510	2,605
6675 ST SE Services Delivery Staff Travelling Expenses	1,874	0	1,721	537	1,184	2,160	Based on average monthly cost	2,242	2,327	2,415	2,507
Total Longstone Expenditure	15,305	0	23,233	8,926	14,307	24,913		25,859	26,844	27,863	28,921
Town & Waterfront Expenditure											
6504 SE Street Furniture (Maintenance)	1,394	0	2,575	196	2,379	2,673	Current Year Budget + CPI	2,775	2,880	2,989	3,103
6505 SE Street Lighting	501	0	773	56	717	802	Current Year Budget + CPI	832	864	897	931
6511 SE Tourism & Signage	60	0	15,000	0	15,000	0	Decrease budget to £1,000 (2025/26 budget includes replacement/improvements various wayfinding and information boards throughout the town) Virement recommended to 6569 SE EMF Tourism & Signage for any surplus funds at Year End	0	0	0	0
6512 SE Bus Shelters (Maintenance)	0	0	582	0	582	604	Current Year Budget + CPI	627	651	676	702
6515 SE Festive Lights Maintenance & Electricity	3,751	0	3,869	4,141	2,728	4,016	Current Year Budget + CPI 2024/25 Electricity £2,101	4,169	4,327	4,491	4,662
6519 SE Flags & Bunting	2,378	0	3,043	629	2,414	2,000	Reduction of current budget by £1,043	2,076	2,155	2,237	2,322
6522 SE Pontoon (Maintenance Costs)	2,250	0	3,090	1,644	1,446	3,207	Current Year Budget + CPI	3,329	3,456	3,587	3,723
6524 SE Vehicle Maintenance and Repair Costs	9,332	0	10,815	3,742	7,073	11,226	Current Year Budget + CPI	11,653	12,096	12,556	13,033
6527 SE Salt Bins Refill	0	0	554	0	554	575	Current Year Budget + CPI	597	620	644	668
6528 SE Pontoon Accommodation	5,496	0	6,306	2,797	3,859	1,388	Current budget + CPI = £6,940 (Transfer 80% of cost to 6654 PE Staff Welfare £5,552)	1,441	1,496	1,553	1,612
6534 SE Pontoon Broadband	0	0	272	140	132	299	Current Year Budget + CPI	310	322	334	347
6535 SE Annual Keyholding Service (new code)	0	0	0	0	0	184	2025/26 Contract £167 + 10% Previously budgeted to Guildhall	191	198	206	214
Total Town & Waterfront Expenditure	25,162	0	46,879	13,344	36,885	26,974		27,809	28,867	29,964	31,103
Total Service Delivery Operating Expenditure	115,041	0	176,050	60,557	121,293	141,682		146,876	152,462	158,253	164,266
Total Service Delivery Operating Surplus/ (Deficit)	(90,270)	0	(153,397)	(39,032)	(119,365)	(121,615)		(126,045)	(130,839)	(135,808)	(140,968)
Service Delivery EMF Expenditure											
Grounds & Premises EMF Expenditure											
6471 SE EMF Heritage Centre	250	7,166	8,800	0	35,966	19,400	Recommendation from Property Maintenance	4,400	4,400	4,400	4,400
6571 SE EMF Saltash Recreation Areas	2,014	52,791	0	0	52,791	25,000	Recommendation from Property Maintenance	25,000	0	0	0
6580 SE EMF Public Toilets (Capital Works)	1,686	13,898	12,500	0	26,398	0	Recommendation from Property Maintenance	0	0	0	0
6588 SE EMF Victoria Gardens	519	14,481	0	0	14,481	0	Recommendation from Property Maintenance	0	0	0	0
6589 SE EMF Community Tree Planting Initiatives	0	3,145	0	39	3,106	0	No increase required	0	0	0	0
6591 SE EMF Open Spaces & Tree Maintenance (Rename code)	0	13,212	3,000	0	16,212	3,000	Recommendation from Property Maintenance	3,000	0	0	0
6593 SE EMF Cornish Cross (Maintenance)	0	2,717	2,500	0	5,217	0	Recommendation from Property Maintenance	0	0	0	6,000
6595 SE EMF Legal & Professional Fees (Grounds & Premises)	0	0	1,800	1,307	5,493	1,000	Recommendation from Property Maintenance	1,000	1,000	1,000	1,000
6599 SE EMF Allotments (new code)	0	0	0	0	0	0	Virements recommended from 6503 SE Allotments - Churchtown & 6532 SE Allotments - Grenfell & 6533 SE Allotments - Fairmead at Year End	0	0	0	6,000
Total Grounds & Premises EMF Expenditure	4,469	107,410	28,600	1,346	159,664	48,400		33,400	5,400	5,400	11,400
Longstone EMF Expenditure											
7170 LO EMF Longstone Depot Capital Works	1,212	2,288	14,750	0	17,038	0	Recommendation from Property Maintenance	150	0	5,750	0
7122 SE EMF Legal & Professional Fees (Longstone)	0	0	0	0	0	1,000	Recommendation from Property Maintenance	1,000	1,000	1,000	1,000
Total Longstone EMF Expenditure	1,212	2,288	14,750	0	17,038	1,000		150	0	5,750	0
Town & Waterside EMF Expenditure											
6570 SE EMF Notice Boards (Repair & Replace)	550	956	0	(47)	1,003	0	No increase required		0	0	0
6572 SE EMF Festive Lights	12,421	18,568	32,000	3,025	47,543	12,000	Contract installments: 2025/26 £26,609.80 2026/27 £26,609.80 2027/28 £26,609.80 2026/27 Catenary wires £2,500 Additional £2k pa for ongoing maintenance	28,609	30,000	30,000	30,000
6573 SE EMF Public Art & Maintenance	0	1,443	0	0	1,443	0	No increase required		0	0	0
6574 SE EMF Salt Bins	96	2,272	0	0	2,272	0	No increase required		0	0	0
6575 SE EMF Street Furniture (New & Replace)	133	1,367	0	0	1,367	0	No increase required		0	0	0
6578 SE EMF Equipment and Vehicles (Capital Works)	34,286	51,038	17,462	0	68,500	0	Precept 2025/26 £68,500: Electric trimmers, blowers & hoovers with spare batteries £11.5k Replace STC2 with new electric version £42k Used RTV Kubota £15k Precept 2026/27 No increase required	0	0	0	0
6582 SE EMF Town War Memorial	14,540	1,978	0	0	1,978	15,000	Recommendation from Property Maintenance		0	0	0
6584 SE EMF Pontoon Maintenance Costs	29,035	9,732	0	109,850	9,052	2,000	Recommendation from Property Maintenance	2,000	0	0	0

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 2030/31
6590 SE EMF Utilities & Rates	0	2,157	0	0	2,157	0	No increase required	0	0	0	0
6598 SE EMF Crime Reduction (CCTV)	0	65,739	0	45,065	20,674	2025/26 committed costs for energy and monitoring £1,725		0	0	0	0
						0 2026/27 estimated cost for energy and monitoring £3,600					
						No inrease required for 2026/27					
6569 SE EMF Tourism & Signage (new code)	0	0	0	0	0	0	Virement recommended from 6511 SE Tourism & Signage for any surplus at Year End	0	0	0	0
Total Town & Waterside EMF Expenditure	91,061	155,250	49,462	157,893	155,989	29,000		30,609	30,000	30,000	30,000
Total Service Delivery EMF Expenditure	96,742	264,948	92,812	159,239	332,691	78,400		64,159	35,400	41,150	41,400
Total Service Delivery Expenditure (Operational & EMF)	211,783	264,948	268,862	219,797	453,983	220,082		211,035	187,862	199,403	205,666
Total Service Delivery Budget Surplus/ (Deficit)	(187,011)	(264,948)	(246,209)	(198,271)	(452,056)	(200,015)		(190,204)	(166,239)	(176,958)	(182,368)
Estimated CPI 3.8% based on July as reported by Office of National Statistics 20-08-25				Precept 2025/26		-241,009					
				Precept 2026/27		-200,015					
				Increase / (Decrease)		(40,994)					
				Difference as %		-17.01%					

Services Committee - Guildhall Budget 2025-26

Saltash Town Council
For the 5 months to August 2025

Black text - budget assumptions

Red text - Further Actions (TBA)

Purple text - new codes

Blue text - recommend virements

Green text - recommendation from Property Maintenance

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 2030/31
Guildhall Operating Income											
4200 GH Income - Guildhall Bookings	1,916	0	2,000	1,618	382	2,076	Current Year Budget + CPI	2,155	2,237	2,322	2,410
4201 GH Income - Guildhall Refreshments	228	0	242	153	90	251	Current Year Budget + CPI	261	271	281	292
4206 GH Income - Guildhall Photocopying Income	59	0	4	68	1	4	Current Year Budget + CPI	4	4	4	4
Total Guildhall Operating Income	2,204	0	2,246	1,839	472	2,331		2,420	2,512	2,607	2,706
Guildhall Operating Expenditure											
6400 GH Rates - Guildhall	10,729	0	11,051	10,729	323	11,136	Based on Actual 2025/26 + CPI (subject to Autumn Budget Statement on 25/11/2025)	11,559	11,998	12,454	12,927
6401 GH Water Rates - Guildhall	765	0	827	84	743	858	Current Year Budget + CPI	891	925	960	996
6402 GH Gas - Guildhall	3,502	0	5,718	38	5,680	5,935	Current Year Budget + CPI	6,161	6,395	6,638	6,890
6403 GH Electricity - Guildhall	5,041	0	9,728	894	8,834	6,000	Reduction of current budget to £6,000	6,228	6,465	6,711	6,966
6404 GH Fire, Security Alarm & CCTV - Guildhall	1,229	0	1,012	903	109	1,050	2025/26 contract £677 + CPI + Provision for any callout	1,090	1,131	1,174	1,219
6408 GH Cleaning Materials & Equipment - Guildhall	1,176	0	1,385	736	649	1,438	Current Year Budget + CPI	1,492	1,549	1,608	1,669
6409 GH Boiler Service & Maintenance	677	0	1,255	0	1,255	1,303	Current Year Budget + CPI	1,352	1,403	1,456	1,511
6410 GH General Repairs & Maintenance	3,003	0	3,138	781	2,422	2,000	Reduction of current budget by £1,138 Major works have been planned in budget code 6470 GH EMF Guildhall Maintenance	0	0	0	0
6412 GH Lift Service & Maintenance	2,852	0	3,741	1,237	2,504	5,156	2025/26 contract £760 qtr x 4 = £3,040 + CPI Additional £2k for non contractual maintenance	4,487	4,711	4,947	5,194
6413 GH Refreshment Costs - Guildhall	428	0	245	39	206	254	Current Year Budget + CPI	264	274	284	295
6414 GH Equipment - Guildhall	658	0	4,725	1,056	3,669	10,378	2025/26 Committed cost for desks/IT for Reception £990 Precept 2026/27 £10,378 (Commercial meeting room sound system - Chamber £4,078 & Long Room £6,300) Recommend virement to 6470 SE EMF Guildhall Maintenance for unspent funds at Year End	10,772	11,181	11,606	12,047
6420 GH Annual Keyholding Service (new code)	0	0	0	0	0	184	2025/26 Contract £167 + 10% This cost has previously been posted to 6470 GH EMF Guildhall Maintenance	191	198	206	214
Total Operating Expenditure	39,662	0	42,825	16,496	26,812	45,693		35,612	36,939	36,232	37,667
Total Guildhall Operating Surplus/ Deficit	(37,459)	0	(40,579)	(14,657)	(26,340)	(43,362)		(33,192)	(34,427)	(33,625)	(34,961)
Guildhall EMF Expenditure											
6418 GH EMF Legal & Professional Fees	9,603	0	0	0	418	2,088	Recommended by Property and Maintenance	2,088	2,088	0	0
6470 GH EMF Guildhall Maintenance	77,531	2,430	25,410	6,927	20,495	18,400	Recommended by Property and Maintenance	18,400	17,400	7,400	7,400
Total Guildhall EMF Expenditure	87,135	2,430	25,410	6,927	20,913	20,488		18,400	17,400	7,400	7,400
Total Guildhall Expenditure (Operational & EMF)	117,193	2,430	68,235	23,423	47,307	66,181		54,012	54,339	43,632	45,067
Total Guildhall Budget Surplus/ (Deficit)	(114,990)	(2,430)	(65,989)	(21,584)	(46,835)	(63,850)		(51,592)	(51,827)	(41,025)	(42,361)

Estimated CPI 3.8% based on July 25 as reported by Office of National Statistics 20-08-25

Precept 2025/26 (66,189)
Precept 2026/27 (63,850)
Increase / (Decrease) (2,339)
Difference as % 3.5%

Black text - budget assumptions
Red text - Further Actions (TBA)
Purple text - new codes
Blue text - recommend virements
Green text - recommendation from Property Maintenance

Account	Prior Year 2024/25	EMF Balances B/F 2024/25	Budget 2025/26	Actual YTD 2025/26	Budget Available 2025/26	Precept 2026/27	Notes	Budget 2027/28	Budget 2028/29	Budget 2029/30	Budget 2030/31
Maurice Huggins Operating Income											
4207 MA Maurice Huggins Room Income	1,230	0	1,400	585	815	1,400	Based on current year budget	1,453	1,508	1,565	1,624
4208 MA Maurice Huggins Room Refreshments	0	0	200	0	200	0	No plans to introduce refreshment facilities	0	0	0	0
Total Maurice Huggins Operating Income	1,230	0	1,600	585	1,015	1,400		1,453	1,508	1,565	1,624
Maurice Huggins Operating Expenditure											
7000 MA Rates	429	0	443	429	14	445	Based on Actual 2025/26 + CPI (subject to Autumn Budget Statement on 25/11/2025)	462	480	498	517
7001 MA Water Rates	339	0	437	130	307	454	Current Year Budget + CPI	471	489	508	527
7003 MA Electricity	963	0	2,251	148	2,103	1,200	Reduction of current budget by £1,051 based on planned usage	1,246	1,293	1,342	1,393
7004 MA Fire & Security Alarm	235	0	243	219	24	377	2025/26 contract £219 + CPI + provision for callouts	391	406	421	437
7008 MA Cleaning Materials & Equipment	310	0	366	259	107	380	Current Year Budget + CPI	394	409	425	441
7010 MA General Repairs & Maintenance	156	0	1,656	143	1,513	1,719	Current Year Budget + CPI No spend recommended by Property Maintenance for EMF code	1,784	1,852	1,922	1,995
7019 MA Refreshment Costs - Maurice Huggins	0	0	150	0	150	0	No plans to introduce refreshment facilities	0	0	0	0
7021 MA Annual Keyholding Service (new code)	0	0	0	0	0	184	2025/26 contract £167 + 10% Previously budgeted to Guildhall	191	198	206	214
Total Maurice Huggins Operating Expenditure	2,433	0	5,546	1,328	4,218	4,759		4,939	5,127	5,322	5,524
Total Maurice Huggins Operating Surplus/ (Deficit)	(1,203)	0	(3,946)	(743)	(3,203)	(3,359)		(3,486)	(3,619)	(3,757)	(3,900)
Maurice Huggins EMF Expenditure											
6472 MA EMF Maurice Huggins Room	0	2,073	2,750	0	4,823	0	Recommendation from Property Maintenance	0	0	0	0
7018 MA EMF Legal & Professional Fees	0	0	0	0	0	0	Recommendation from Property Maintenance	0	0	0	0
7071 MA EMF Maurice Huggins (Furniture & Sundry Items)	0	606	0	0	606	0	Recommendation from Property Maintenance	0	0	0	0
Total Maurice Huggins EMF Expenditure	0	2,679	2,750	0	5,429	0		0	0	0	0
Total Maurice Huggins Expenditure (Operational & EMF)	2,433	2,679	8,296	1,328	9,647	4,759		4,939	5,127	5,322	5,524
Total Maurice Huggins Budget Surplus/ (Deficit)	(1,203)	(2,679)	(6,696)	(743)	(8,632)	(3,359)		(3,486)	(3,619)	(3,757)	(3,900)
Estimated CPI 3.8% based on July 25 as reported by Office of National Statistics 20-08-25					Precept 2025/26 Precept 2026/27 Increase / (Decrease) Difference as %		(6,696) (3,359) (3,337) 49.8%				